



Town of Nottingham

P.O. Box 114, 139 Stage Road, Nottingham NH 03290 Office 603-679-9597 ext. 1, Fax 603-679-1013

PLANNING BOARD PROJECT APPLICATION

Subdivision Type: Conventional ___ Open Space ___ LLA ___

Site Plan Review: Conventional ___ Change of Use X

Concurrent- Subdivision/ Site Plan Review ___

Amendment to Approval of: Subdivision ___ Site Plan ___ Other ___

Total Acreage:	Current Use Acreage:	# of Proposed Lots:
Project Address: <u>18 COOPER HILL RD UNIT 6</u>		
Current Zoning Districts: <u>RESIDENTIAL- AGRICULTURAL ZONE</u>		
Overlay Districts:	Map(s): <u>16</u>	Lot (s): <u>5</u>
Request: <u>CHANGE OF USE FOR "DETACHED PORTION" UNIT 6 TO UNSPECIFIED OFFICE, NO CHANGE TO MULTI-PURPOSE BLDG.</u>		

The Property owner shall designate an agent for the project. This person (the applicant) shall attend pre-application conferences and public hearings, will receive the agenda, recommendations, and case reports, and will communicate all case information to other parties as required.

All contacts for this project will be made through the *Applicant* listed below.

- () Form A "Abutters List" has been filed with this application no earlier than 5 days within submittal of this application with 3 labels per address on address labels (same size as Avery 5160/8160)
- () Form B "Authorization to Enter upon Subject Property" has been filed with this application
- () Form C "Authorization to Represent" has been filed with this application
- () 6 sets of full size plans
- () 10 sets of 11"x17" plans
- () Waiver Form(s)
- () Completed Checklist

Case#:	Project Name:	Date:
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Case#

Project Name **UNIT 6**

Date **5-21-2021**

COTE OFFICE REND

Owner 1: RICHARD COTE
Company:
Phone: 510 714-4949 Fax: E-mail: COTERICHR@GMAIL
Address: 936 WAVERLY COMMON LIVERMORE CA 94551

Richard Cote 5/21/21
 Owner 1 Signature Date

Owner 2: MARY ELLEN COTE
Company:
Phone: 510 364-0973 Fax: E-mail: MARVELLENCOTE19@GMAIL
Address: 936 WAVERLY COMMON LIVERMORE CA 94551

Mary Ellen Cote 5/21/21
 Owner 2 Signature Date

Owner 3:
Company:
Phone: Fax: E-mail:
Address:

Owner 3 Signature Date

Owner 4:
Company:
Phone: Fax: E-mail:
Address:

Owner 4 Signature Date

Applicant (Contact):
Company:
Phone: Fax: E-mail:
Address:

Developer:
Company:
Phone: Fax: E-mail:
Address:

Engineer:
Company:
Phone: Fax: E-mail:
Address:

COTE OFFICE - RENO



Town of Nottingham

P.O. Box 114, 139 Stage Road, Nottingham NH 03290 Office 603-679-9597 ext. 1, Fax 603-679-1013
Web: <http://www.nottingham-nh.gov> Email: plan.zone@nottingham-nh.gov

AUTHORIZATION TO ENTER UPON SUBJECT PROPERTY

The property owner(s), by the filing of this application, hereby give permission for the members of the Nottingham Planning Board and such agents or employees of the Town as the Nottingham Planning Board may authorize, to enter upon the property which is the subject of this application at any reasonable time for the purpose of such examinations, surveys, tests and/or inspections as may be appropriate to enable this application to be processed.

I/We hereby waive and release any claim or right I/we may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and/or inspections conducted on my/our property in connection with this application. This authorization expires in one year from date of signature

Property Owner(s)

Richard Cote 5/21/21
Signature Date

Signature Date

Property Owner(s)

Mary Ellen Cote 5/21/21
Signature Date

Signature Date

Property Owner(s)

Signature Date

Signature Date

Property Owner(s)

Signature Date

Signature Date

Case#

Project Name UNIT 6

Date 5-21-2021

COTE OFFICE RENO

ABUTTER(S) LIST

* PRINT THREE (3) ADDRESS LABELS PER ABUTTER INCLUDING THE APPLICANT, OWNER AND PROFESSIONAL(S)

1. APPLICANT INFORMATION:

Printed Name: RICHARD COTE Contact Telephone: 510 714-4949

Address: RE: 18 COOPER HILL RD UNIT 6 NOTTINGHAM.

2. OWNER INFORMATION:

Printed Name: RICHARD + MARY ELLEN COTE

Address: 936 WAVERLY COMMON LIVERMORE CA 94551

3. PROFESSIONAL(S) INFORMATION:

Printed Name: _____

Address: _____

Abutter(s) Information					
	Map:	Lot:	Sub lot:	Name:	Address:
4.	16	6	1	ROBINSON, JACOB	23 COOPER HILL RD NOTTINGHAM 03290
6.	16	6	2	PERRY, ALAN TRUSTEE	PO BOX 352 NOTTINGHAM 03291
7.	16	7		HOLL, SANDRA	2 COOPER HILL RD NORTHWOOD 03261
8.	16	15	A	LONGUEIL, PAUL	1 COOPER HILL RD NORTHWOOD 03261
9.					
10.					
11.					
12.					
13.					
14.					
15.					
16.					
17.					

I, RICHARD COTE, the undersigned, certify that to the best of my knowledge, the above is an accurate and complete abutter(s) list and that the information was obtained from the Nottingham Assessing Office no more than five (5) days prior to the date of this application..

Richard Cote
Applicant's Signature

5/21/21
Date

**Project Application Checklist
Nottingham Planning Board**

This checklist is intended to assist applicants in preparing a complete application for subdivision as required by the Nottingham Subdivision Regulations and must be submitted along with all subdivision applications. An applicant seeking subdivision approval shall be responsible for all requirements specified in the Nottingham Subdivision Regulations even if said requirements are omitted from this checklist.

An applicant seeking subdivision approval shall be responsible for providing all the information listed in the column below entitled "Subdivision" and should place an "x" in each box to indicate that this information has been provided. If an item is considered unnecessary for certain application the "NA" box should be marked instead, indicating "Not Applicable". Only certain checklist items are required for lot line adjustments, as noted by the applicable check boxes below.

Check the Appropriate Box or Boxes Below: <input type="checkbox"/> Lot Line Adjustment <input type="checkbox"/> Subdivision Plan See Sections I & II See Sections I & II, III, IV & V	Subdivision		Office Use	
	Provided	N/A	Provided	N/A
Section I. General Requirements				
1. Completed Application Form	X			
2. Complete abutters list	X			
3. Payment of all required fees	X			
4. <u>Six (6) full size sets of plans and ten (10) sets of plans 11"x 17" submitted with all required information in accordance with the subdivision regulations and this checklist</u>	X			
5. Copies of any proposed easement deeds, protective covenants or other legal documents		X		
6. Any waiver request(s) submitted with justification in writing				
7. Technical reports and supporting documents (see Section IX & X of this checklist)		X		
8. Completed Application Checklist	X			
Section II. General Plan Information				
1. Size and presentation of sheet(S) per registry requirements and the subdivision regulations	X			
2. Title block information:				
a) Drawing title	X			
b) Name of subdivision		X		
c) Location of subdivision		X		
d) Tax map & lot numbers of subjects parcel(s)	X			
e) Name & address of owner(s)	X			
f) Date of plan	X			

Case#

Project Name UNIT 6Date 5/21/21COTE OFFICE RENO**Town of Nottingham**

P.O. Box 114, 139 Stage Road, Nottingham NH 03290 Office 603-679-9597 ext. 1, Fax 603-679-1013

Web: <http://www.nottingham-nh.gov> Email: plan.zone@nottingham-nh.gov**LAND USE PROJECT FEE SCHEDULE****Fee's Collected at Time of Application:**

Project Type	Fee	#Lots	Total
Subdivision	\$200.00 + \$200.00/lot		\$200+
Design Review	\$100.00	-----	\$100
Lot Line Adjustment	\$100.00 + \$50.00/lot affected		\$100+
Site Plan 3 acres or less / <u>CHANGE USE</u>	\$75.00	-----	\$75
Site Plan 3+ acres	\$100.00	-----	\$100
Plus Notice Fees:			
Abutter(s)/Professional(s) Notice	\$10.00/ notice	\$10 x # <u>4</u> # abutter(s)/professional(s)	\$ <u>40.00</u>
Public Notice in Local Newspaper		\$75.00	\$75.00
Date Collected:	Total payable to: Town of Nottingham:		<u>\$ 190.</u>

Fee's Collected at Time of Acceptance (Not For Design Review Applications)

Fee type	Fee(Amount TBD)	Date paid
Escrow Account- 3 rd party review fees		
Letters of Credit, Bonds, Performance Guarantee		

Fee's Collected at Time of Approval:

Fee type & amount	Payable to:	Total
LCHIP- \$25.00	SEPARATE CHECKS Payable to: <i>Rockingham County Registry of Deeds</i>	\$25.00
RECORDING- \$26.00/ Mylar sheet		\$
ADMINISTRATIVE/ REMAPPING	ONE CHECK payable to: <i>Town of Nottingham;</i>	\$75.00

Fee's collected at time of Certificate of Occupancy:

Impact Fee (Fees will be collected by the Building Inspector at time of CO)-- See Chart

NOTTINGHAM IMPACT FEE ASSESSMENT SCHEDULE ADOPTED OCTOBER 25, 2017

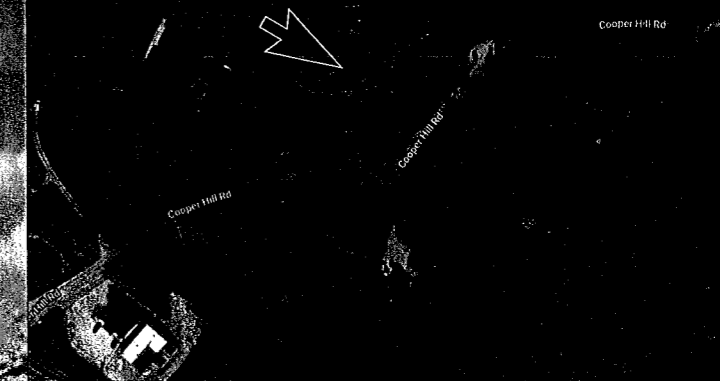
Fee Assessment Basis	School Impact Fee K-8 Facilities	Fire Department Impact Fee	**Recreation Department Impact Fee	Total Impact Fees
RESIDENTIAL DEVELOPMENT				
Type of structure:	Per Dwelling Unit	Per Dwelling Unit	Per Dwelling Unit	Per Dwelling Unit
Single family detached	\$4,220	\$800	\$344	\$5,364
Attached, 2-family or Multifamily*	\$2,245/unit	\$736/unit	\$298/unit	\$3,279/unit
Manufactured Housing	\$4,206	\$812	\$325	\$5,343
Accessory Dwelling Unit/ Apt. (ADU)	N/A	\$736	\$298	\$1,034

*Impact fee ordinance provisions enable the Planning Board to grant school impact fee waivers for qualified age-restricted housing units in a 55+ development. See impact fee ordinance for waiver criteria.

** Fees will be dedicated to the Marston Recreation Project

RICHARD COTE OFFICE STUDIO - RENO

COOPERHILL ROAD NOTTINGHAM N.H.



SHEET INDEX

PCS	PROJECT COVER SHEET
2-3	ELEVATIONS
4	BASEMENT & 1ST FLOOR PLAN
5	SECTION CUTS
6	DECK OPTION 1 DETAIL
7	DECK OPTION 2 DETAIL
6	DETAILS
8	OTHER IMAGES

GENERAL NOTES

- DO NOT SCALE DRAWING OR DIMENSIONS. FOR MISSING DIMENSIONS OR DIMENSIONS IN CONFLICT, CONTACT THE CONTRACTOR IMMEDIATELY BEFORE CONTINUING WITH WORK.
- ANY DISCREPANCIES IN THESE PLANS WILL BE BROUGHT TO THE CONTRACTOR'S ATTENTION IN WRITING IMMEDIATELY
- REFER TO MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DESIGN-BUILD PLANS AND SPECIFICATION FOR LOCATIONS OF ALL BLOCK OUTS, INSERTS, OPENINGS, CURBS, BASES, & PADS THAT ARE NOT DIMENSIONED OR SHOWN ON CONTRACTOR'S DWG'S. OR STRUCTURAL DWG'S.
- STRUCTURAL STEEL, MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION PLANS AND SPECIFICATION SHALL BE PROVIDED AND ARE THE RESPONSIBILITY OF THEIR RESPECTIVE SUBCONTRACTORS IF NOT CARRIED IN ARCHITECTURAL SERVICES
- ALL CONSTRUCTION SHALL CONFORM TO AND BE IN ACCORDANCE WITH THE REGULATOR REQUIREMENTS MANDATED BY ALL FEDERAL, STATE AND LOCAL AUTHORITIES HAVING JURISDICTION IN ACCORDANCE TO THE STATE IN WHICH THE WORK IS PERFORMED (STATE BUILDING CODE, STATE LIFE SAFETY & FIRE CODE ETC.)
- THE CONTRACTOR SHALL REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS, AND SHALL CONFIRM WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS, ETC. SHALL BE IMMEDIATELY REPORTED IN WRITING TO THE ARCHITECT FOR CLARIFICATION
- DIMENSIONS ARE FROM EXTERIOR FACE OF FOUNDATION, VENEER, OR WALL STUD AND TO CENTER OF ALL INTERIOR STUD WALLS OR FACE OF INTERIOR MASONRY, UNLESS NOTED OTHERWISE.
- CLEAR DIMENSIONS ARE FROM FACE TO FACE OF WALL FINISH, UNLESS NOTED OTHERWISE
- REFER TO MECHANICAL DRAWINGS / SPEC. FOR ALL SIZES AND LOCATIONS OF MECHANICAL DUCT WORK.
- UNLESS OBVIOUSLY SHOWN OTHERWISE, DOOR LOCATIONS NOT DESIGNATED BY WRITTEN DIMENSION SHALL BE CENTERED IN THE WALL OR SHALL BE LOCATED FOUR (4) INCHES FROM FINISH WALL TO EDGE OF DOOR JAMB, PER PLAN.
- PROVIDE METAL CORNER BEAD AT ALL OUTSIDE CORNERS OF PLASTERED OR DRYWALL SURFACES, UNLESS NOTED OTHERWISE.
- PENETRATIONS OF ALL FIRE RATED ASSEMBLIES SHALL BE PROTECTED BY LIKE RATED CONSTRUCTION DAMPERS, SEALANTS, COLLARS, ETC., TYPICAL.
- CONTRACTOR SHALL FURNISH, LOCATE AND INSTALL ALL ACCESS PANELS AS REQUIRED AFTER INSTALLATION OF MECHANICAL DUCTS, PLUMBING AND ELECTRICAL WORK, FIRE RATED AS REQUIRED.
- FURNISH AND INSTALL SOLID BLOCKING BEHIND ALL WALL HUNG MILLWORK ITEMS, RAILS, FIXTURES, GRAB BARS, ETC., WHERE INDICATED OR REQUIRED.
- CONTRACTOR SHALL LAYOUT OR MARK, ALL EQUIPMENT, SYSTEMS AND MILLWORK ON THE FLOOR FOR ARCHITECT OR OWNER'S APPROVAL PRIOR TO BEGINNING CEILING / OVER HEAD WORK.
- ALL SPRINKLER HEAD LOCATIONS, MAINS, BRANCHES AND RISER PIPE LOCATIONS MUST BE COORDINATED WITH THE DESIGN / BUILD CONTRACTOR PRIOR TO WORK.
- FURNISH AND INSTALL FIRE EXTINGUISHERS IN TYPE, QUANTITY, AND LOCATION PER LOCAL FIRE DEPARTMENT. TYPICAL
- CONTRACTOR SHALL VERIFY, COORDINATE LOCATION WITH THE ARCHITECT ANY SMOKE, CARBON MONOXIDE DETECTOR OR FIRE ALARM DEVICE AS REQUIRED BY THE LOCAL FIRE DEPARTMENT.
- FURNISH & INSTALL FIRE DAMPERS WITH FUSIBLE LOUVER WHEREVER DUCT WORK PENETRATES ONE OR TWO HOUR CEILING OR WALLS. TYPICAL UNLESS NOTED OTHERWISE.
- PROVIDE PLASTER AND GYPSUM WALL BOARD CONTROL JOINTS AT 30'-0" ON CENTER FROM FLOOR TO CEILING, OR AS NOTED ON THE CONSTRUCTION DOCUMENTS.. VERIFY IN FIELD WITH ARCHITECT PRIOR TO WORK.

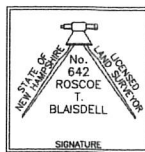


:: Richard Cote - Office Studio ::

May 10, 2021 ::

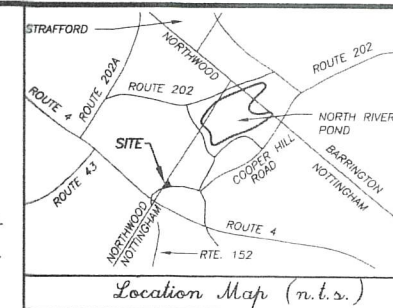
Nottingham New Hampshire ::

I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND IS THE RESULT OF AN ACTUAL FIELD SURVEY CONDUCTED IN MARCH, 2001 USING A LEICA TCA1105 TOTAL STATION AND STEEL TAPE AND HAS A TRAVERSE ERROR OF CLOSURE EXCEEDING 1:10,000' ON ALL PROPERTY LINES BORDERING ON THE SUBJECT PROPERTY. THIS CERTIFICATION IS FOR THE BOUNDARY ONLY.



BOUNDARY SURVEY PREPARED BY:
BLAISDELL SURVEY, LLC
 ROSCOE T. BLAISDELL, L.L.S.
 22 SCRIPPER ROAD, RAYMOND, N.H. 03077
 DATE: 11-1-01
 DRAWN BY: JAMES E. SHEPARD
 CHECKED BY: ROSCOE T. BLAISDELL

TAX MAP NO. 2
 TAX LOT NO. 8-2
 N/F PAUL & LESLIE LONGUEIL REV. TRUST OF 1996
 1 COOPER HILL ROAD
 NOTTINGHAM, NH 03261
 3521/709



LEGEND

BEARING DIST	PROPERTY LINES	UTILITY POLE
BEARING DIST	L.C.A. BOUNDARY	GRANITE BOUND FOUND
OHW	STOCKADE FENCE	5/8" RE-BAR W/ ID CAP TO BE SET BY BLAISDELL SURVEY, LLC.
SHRUB LINE	OVERHEAD WIRES	WELL
STONE WALL	EASEMENT LINE	CONCRETE PAD
GUARDRAIL	SHRUB LINE	BRICK WALK-WAY
CHAINLINK FENCE	EDGE OF GRAVEL DRIVE	LANDSCAPED AREA
EDGE OF GRAVEL DRIVE	DRAIN LINE	EOD
D	DECORATIVE TIMBER	EP
		1-PS
		L.C.A.
		L.D.S.P.
		RET.
		TYP.



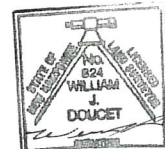
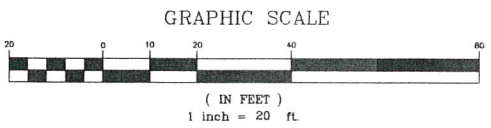
LCA AREA TABLE

LCA UNIT #1	2,945 sq.ft.
LCA UNIT #2	1,080 sq.ft.
LCA UNIT #3	775 sq.ft.
LCA UNIT #4	23,053 sq.ft. 0.529 acres
LCA UNIT #5	6,732 sq.ft. 0.155 acres
LCA UNIT #6	14,739 sq.ft. 0.338 acres
COMMON AREA #1	24,486 sq.ft. 0.562 acres
COMMON AREA #2	9,769 sq.ft. 0.224 acres
LCA UNITS 1, 2 & 3 PARKING	2,802 sq.ft. 0.064 acres

I HEREBY CERTIFY THAT THIS PLAN IS ACCURATE AND COMPLIES WITH NHRSA 356-B:201. ALL UNITS OR PORTIONS THEREOF DEPICTED ON ANY PORTION OF THE SUBMITTED LAND OTHER THAN WITHIN THE BOUNDARIES OF ANY CONVERTIBLE LAND HAVE BEEN SUBSTANTIALLY COMPLETED.

SIGNED: *[Signature]*

TAX MAP NO. 16
 TAX LOT NO. 6-1
 DENNIS J. FOWLER JR.
 3 COOPER HILL ROAD
 NOTTINGHAM, NH 03290



I certify that this survey plot is not a subdivision pursuant to this title and that the lines of streets and ways shown are those of public or private streets or ways already established and that no new ways are shown.

I certify that this interior building & exterior improvements survey and plan were prepared by me or by those under my direct supervision and falls under the Urban Survey Classification of the NH Code of Administrative Rules of the Board of Licensure for Land Surveyors. I certify that this survey was made on the ground and is correct to the best of my knowledge and belief. Random traverse survey by Total Station, with a precision greater than 1:15,000.

[Signature] L.L.S. #824
 DATE: 5-24-07

The certifications shown hereon are intended to meet registry of deed requirements and are not a certification to title or ownership of property shown. Owners of adjoining properties are according to current town assessors records.

- NOTES:**
- LOT IS DESCRIBED BY DEED OF PAUL & LESLIE LONGUEIL REV. TRUST OF 1996 COOPER HILL ROAD, NOTTINGHAM, NH AND IS RECORDED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS (R.C.R.D.), BRENTWOOD, N.H. IN BOOK 3176 PAGE 2711 ON SEPTEMBER 18, 1996.
 - LAND IS NOT LOCATED IN THE FLOOD HAZARD ZONE PER FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 33015C-0085E EFFECTIVE MAY 17, 2005.
 - LAND IS LOCATED IN THE RESIDENTIAL AGRICULTURAL ZONE.
 - THE BASIS OF THE EXISTING PERIMETER OF TAX MAP 16 TAX LOT 15A AS SHOWN ON THIS PLAN IS REFERENCE PLAN 3.
 - THIS PARCEL IS SUBJECT TO THE FOLLOWING:
 - HEATING OIL TANKS EASEMENT FOR THE BENEFIT OF UNITS 1, 2 & 3.
 - WATER FILTRATION SYSTEM EASEMENT WITHIN UNIT #2 FOR BENEFIT OF ALL UNITS.
 - WALKING PATH EASEMENT IN FAVOR OF UNITS 2 & 3.
 - COMMON AREA RIGHTS RESERVED FOR NON-VEHICULAR ACCESS IN FAVOR OF OWNER OF TAX MAP 2 LOT 8-2.
 - COMMON AREA CAN BE USED FOR FUTURE SEPTIC NEEDS FOR ANY AND ALL UNITS.
 - RIGHTS RESERVED FOR A FENCE BETWEEN UNITS #1 & #2 IN FAVOR OF UNIT #1.
 - NHDES SUBDIVISION APPROVAL #SA2006007602
 - THE NOTTINGHAM PLANNING BOARD DETERMINED AT THE MAY 16, 2007 PUBLIC HEARING THAT THEY TAKE NO JURISDICTION OVER THIS CONDOMINIUM CONVERSION.
- NOTES CONTINUED ON SHEET 2

UNITS 1-6 ARE SUBSTANTIALLY COMPLETE

CONDOMINIUM SITE PLAN
 OF
LYONS MILL CONDOMINIUM
 UNITS 1-6
 FOR
PAUL AND LESLIE LONGUEIL
 (TAX MAP 16, LOT 5)
 COOPER HILL ROAD
 NOTTINGHAM, NEW HAMPSHIRE

DRAWN BY:	O.M.S.	DATE:	JAN. 3, 2007
CHECKED BY:	W.J.D.	DRAWING NO.:	1291B
JOB NO.:	1291	SHEET	1 OF 2

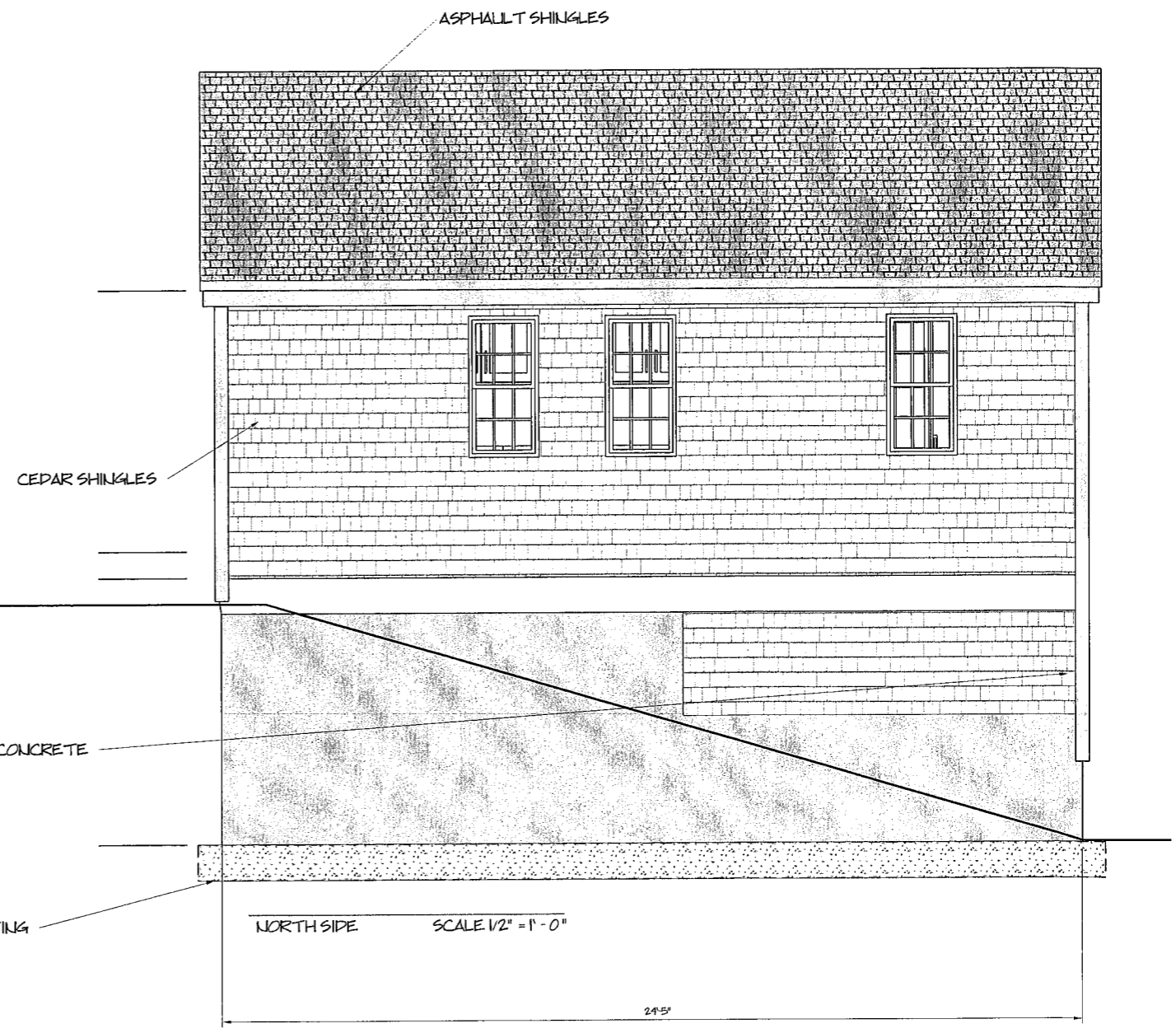
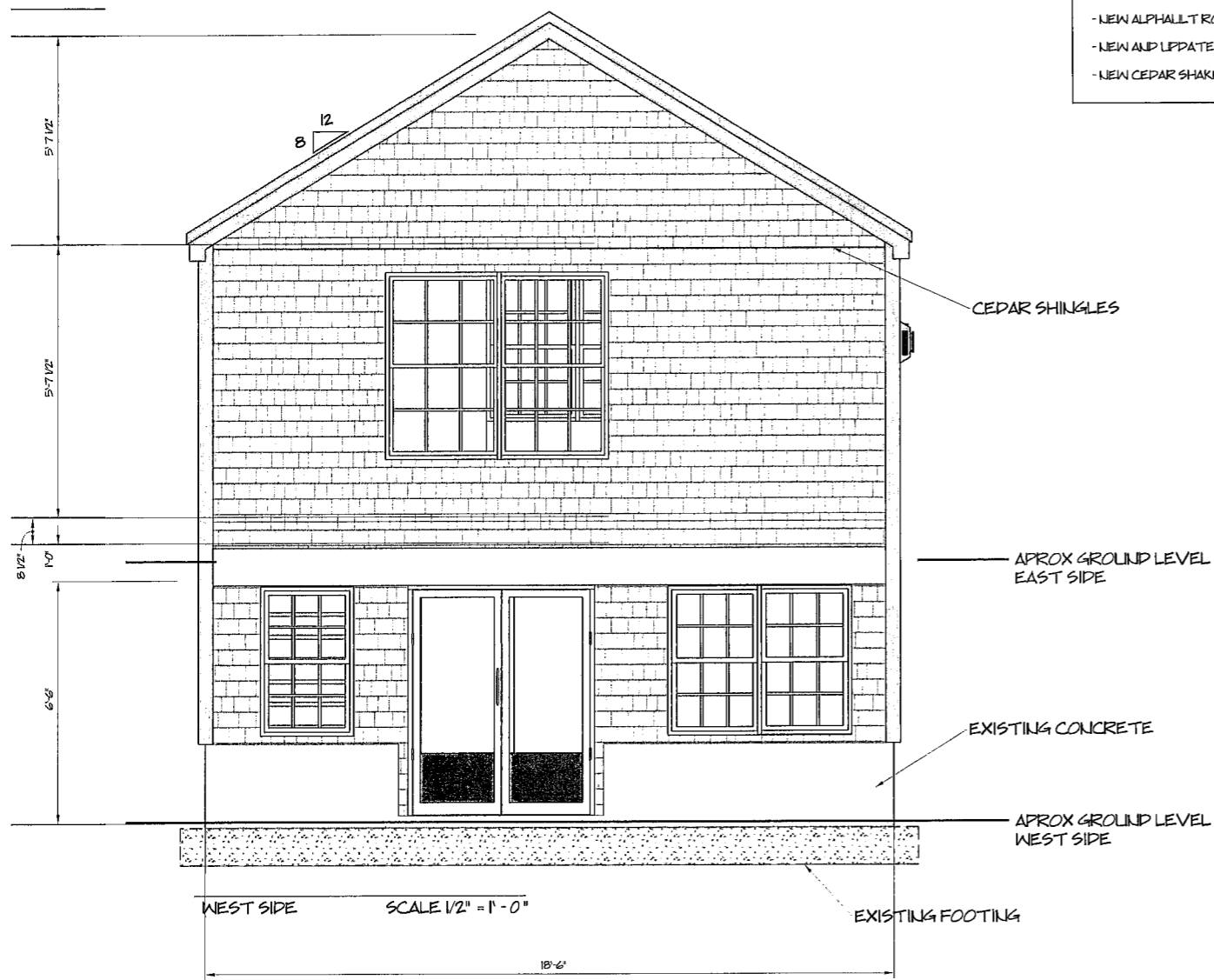


NO.	DATE	DESCRIPTION	BY

NOTE:
 ALL ELECTRIC, GAS, TEL, WATER, SEWER AND DRAIN SERVICES ARE SHOWN IN SCHEMATIC FASHION. THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN ON THIS SITE USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE AT 1-888-DIG-SAFE.

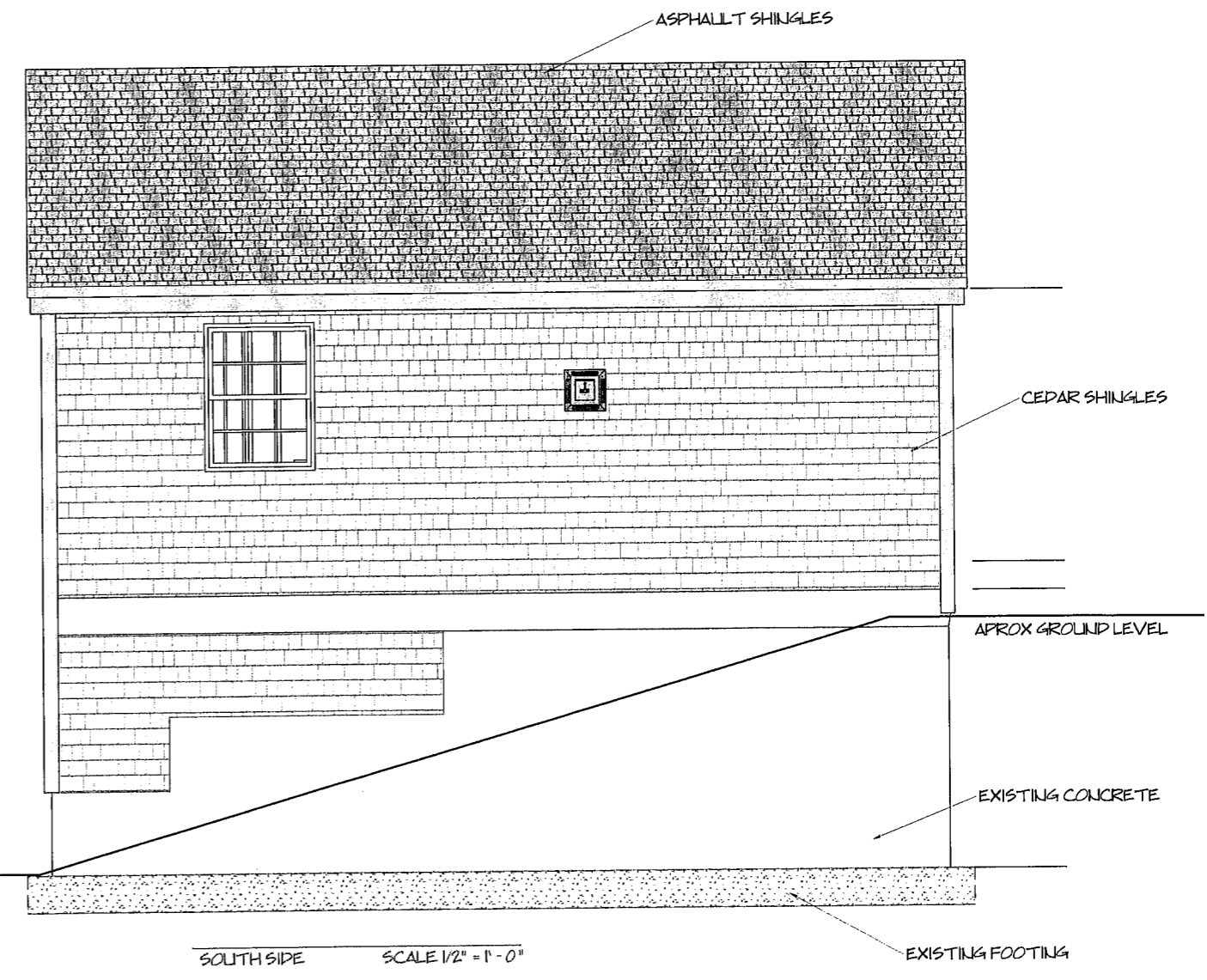
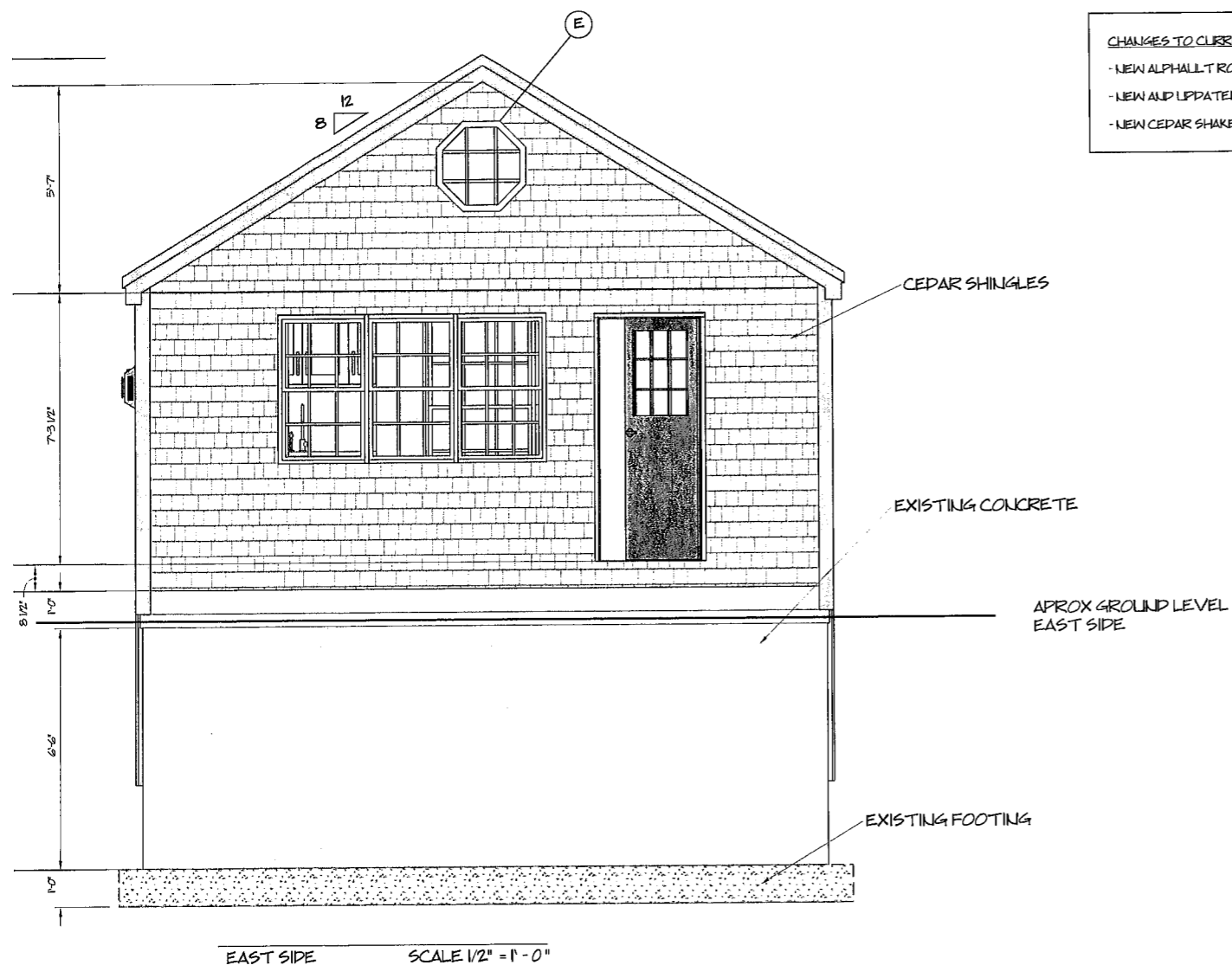
CHANGES TO CURRENT EXTERIOR STRUCTURE INCLUDE

- NEW ASPHALT ROOF
- NEW AND UPDATED WINDOWS/DOORS/HEADERS
- NEW CEDAR SHAKES SIDING



CHANGES TO CURRENT EXTERIOR STRUCTURE INCLUDE

- NEW ASPHALT ROOF
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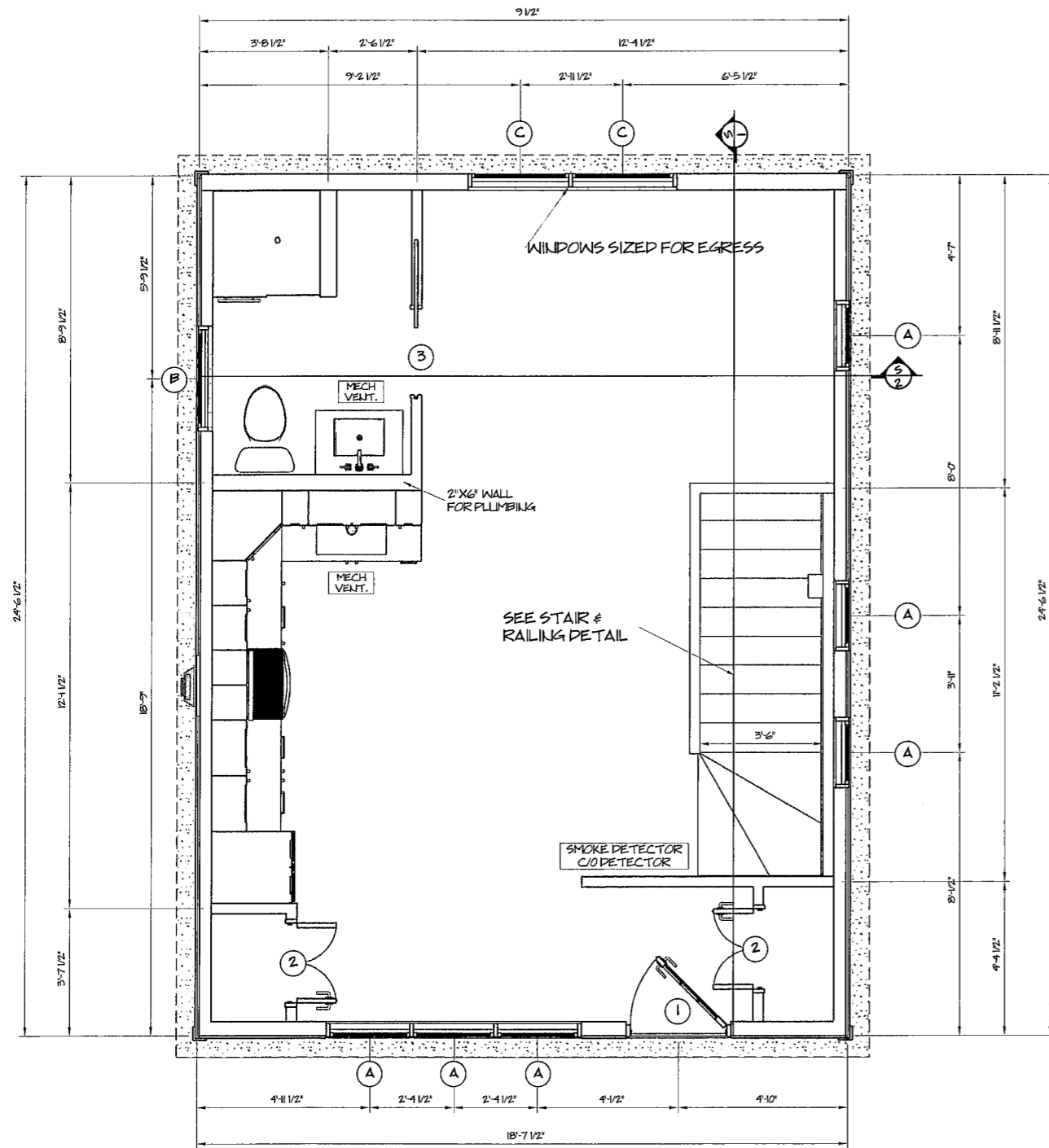
FLOOR PLAN GENERAL NOTES:

- 1) ALL DOOR SIZES SHOWN INDICATE SLAB SIZES, NOT R.O.
- 2) ALL DOOR STYLES, MATERIALS, FINISHES & TYPES SHALL BE SELECTED BY OWNER & COORDINATED W/ CONTRACTOR
- 3) ALL ELECTRICAL FIXTURES & LIGHTING FIXTURES SHALL BE SELECTED BY OWNER & COORDINATED W/ CONTRACTOR
- 4) ALL MECHANICAL SYSTEMS & FIXTURES SHALL BE SELECTED BY OWNER & COORDINATED W/ CONTRACTOR
- 5) ALL PLUMBING FIXTURES SHALL BE SELECTED BY OWNER & COORDINATED W/ CONTRACTOR
- 6) ALL INTERIOR FINISH WORK, MILLWORK, FLOORING, ETC. SHALL BE SELECTED BY OWNER & COORDINATED W/ CONTRACTOR
- 7) ALL LUMBER IN CONTACT W/ CONCRETE SHALL BE PRESURE TREATED
- 8) ALL MET OR HIGH HUMIDITY ROOMS TO HAVE MOISTURE RESISTANT GAB, P.T.D.
- 9) NON BEARING INTERIOR STUDS TO BE 2X4 K.D. WD. @ 16' O.C. K.D. (U.L.L.O.) TYP.
- 10) ALL STAIR GEOMETRY TO BE 7 3/4" RISER MAX. 4" RISER MIN. & 10" TREAD (NOSE - NOSE) W/ NOSE OVERHAUK
- 11) ALL DIMENSIONS ARE PULLED FROM OUTSIDE FACE OF FRAMING @ EXT. WALLS & CENTER OF WALL @ INT. WALLS
- 12) ALL DIMENSIONS LABEL "CLR. OPENING" INDICATE DIMENSIONS PULLED FROM FACE OF WALL FINISH
- 13) REFER TO SHEET A1.2 FOR WINDOW SCHEDULE

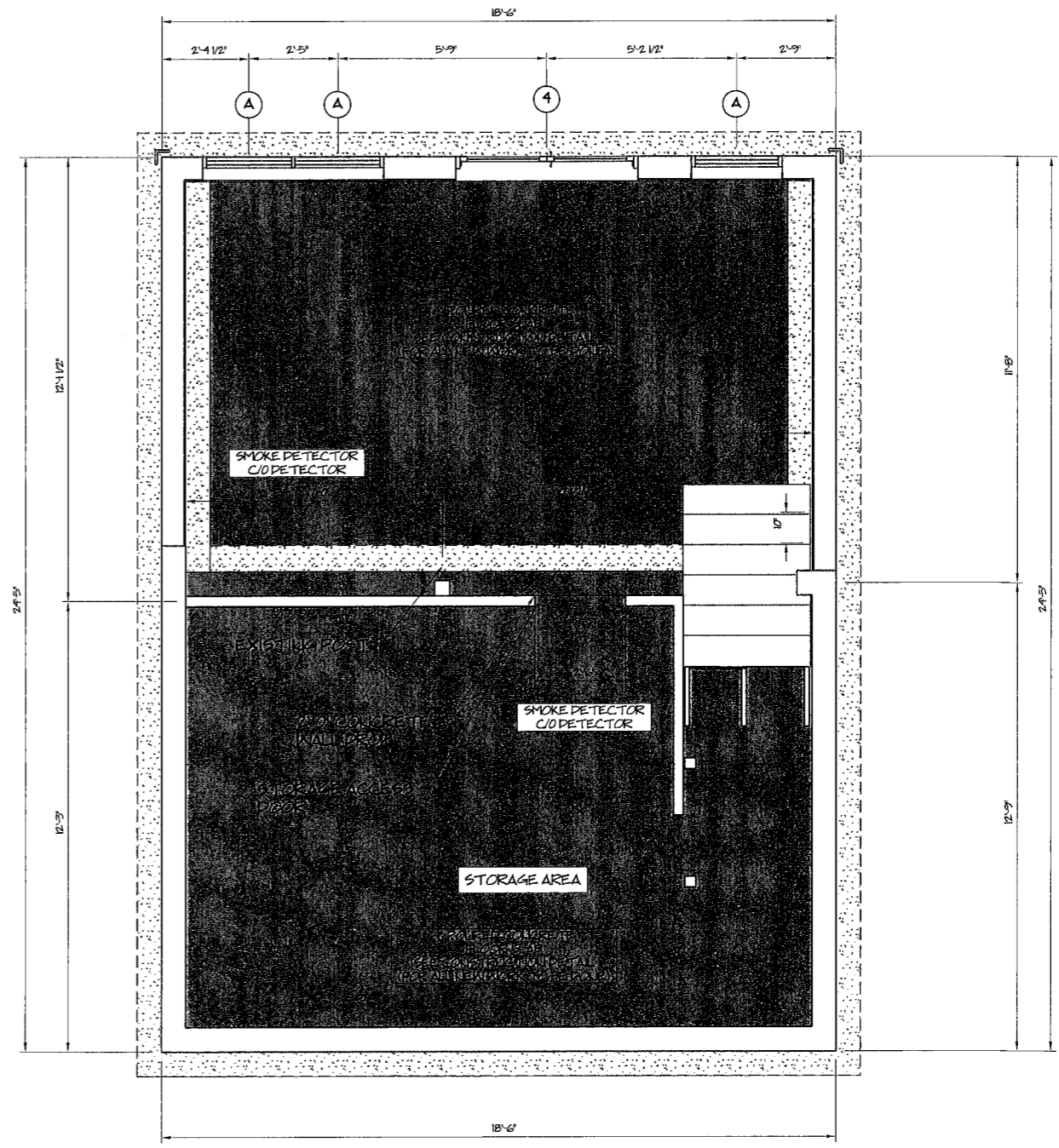
STRUCTURAL GENERAL NOTES:

- 1) TYPICAL INTERIOR CONC. PAD FOOTINGS SHALL BE MINIMUM 3'X3'X1' W/ (3) #5'S EACH WAY @ BOTTOM
- 2) CONT. FOUNDATION FOOTINGS TO BE CONT. 8X16 W/ (3) #5'S CONT. @ BOTTOM (B.O.F. @ 48" BELOW GRADE)
- 3) PROVIDE 2X4 KEYWAY @ CONT. FOOTING TO FOUNDATION WALL
- 4) FOUNDATION WALLS TO BE 8" THICK W/ (2) #5'S CONT. @ TOP & BOTTOM
- 5) ALL FLOOR JOISTS SHALL BE 2X10 K.D. SPF N. 1/1 N. 2 @ 16' O.C.
- 6) ALL INTERIOR BEARING WALLS TO BE 2X6 K.D. WD. STUDS @ 16' O.C. #2 OR BETTER
- 7) ALL FLOOR SHEATHING SHALL BE 3/4" PLYWOOD T&G GLUED & NAILED TO WD. JOISTS
- 8) INSTALL 800# HOLD DOWN IN EXT. WALL CORNERS W/ LESS THAN 48" OF CONT. WALL SHEATHING
- 9) SILL PLATE ANCHORS SHALL BE 10" LONG "J" GALV. BOLTS W/ 8" EMBEDMENT, SPACED 4' - 0" O.C. MAX. W/ MAX. 12" FROM CORNER, MIN. (2) BOLTS PER PLATE
- 10) PROVIDE CONT. SILL SEAL MATL. UNDER P.T. WD. SILL PLATE
- 11) PROVIDE DOUBLE JACK STUDS ON OPENINGS LARGER THAN 4' - 0"
- 12) ALL WINDOW & DOOR HEADERS NOT DESIGNATED ON PLANS SHALL BE (2) 2X8 SPF N. 1 OR BETTER
- 13) REFER TO STRUCTURAL FRAMING PLANS FOR ALL BEAM SIZES & COLUMN & BEAM LOCATIONS

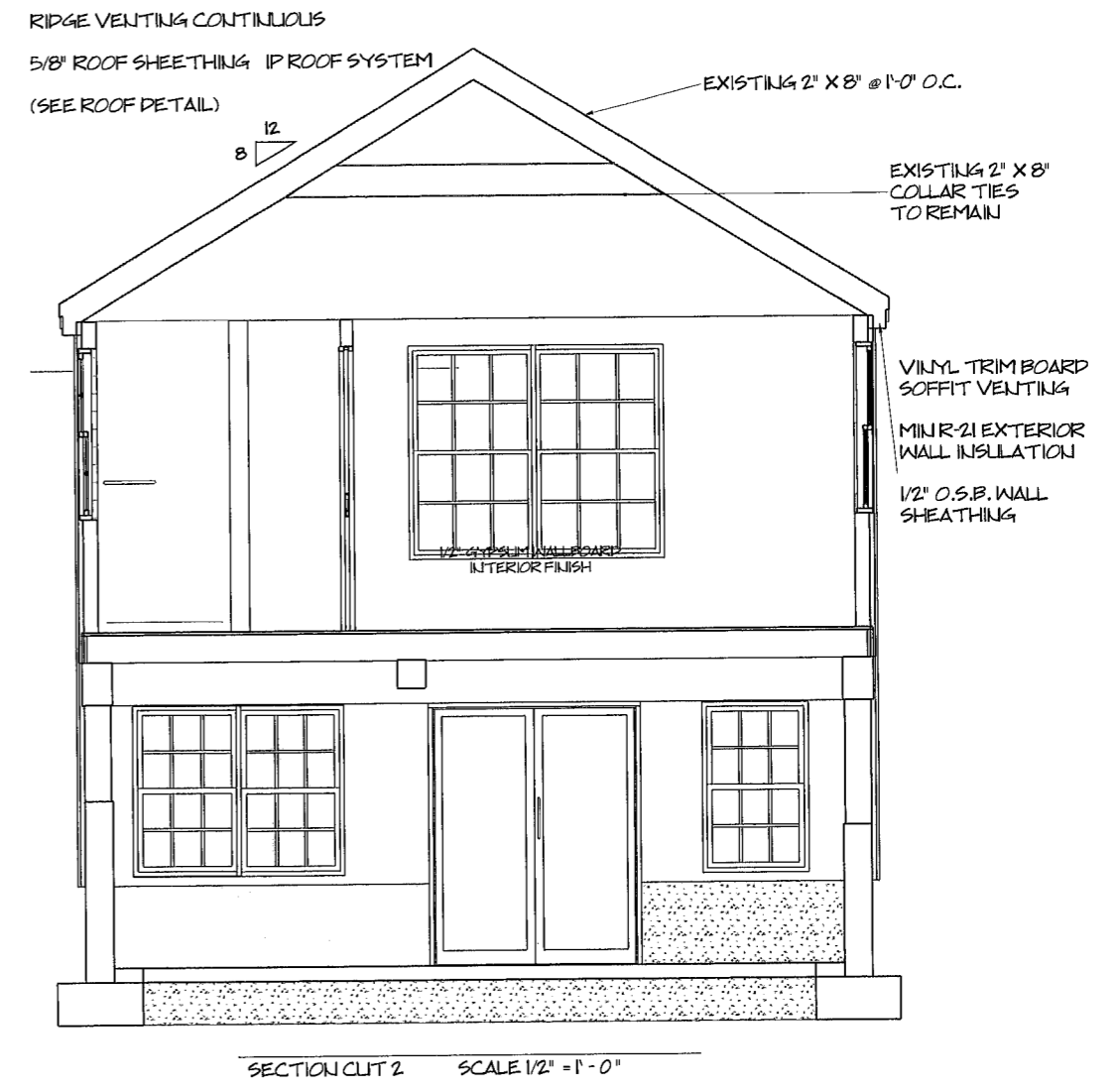
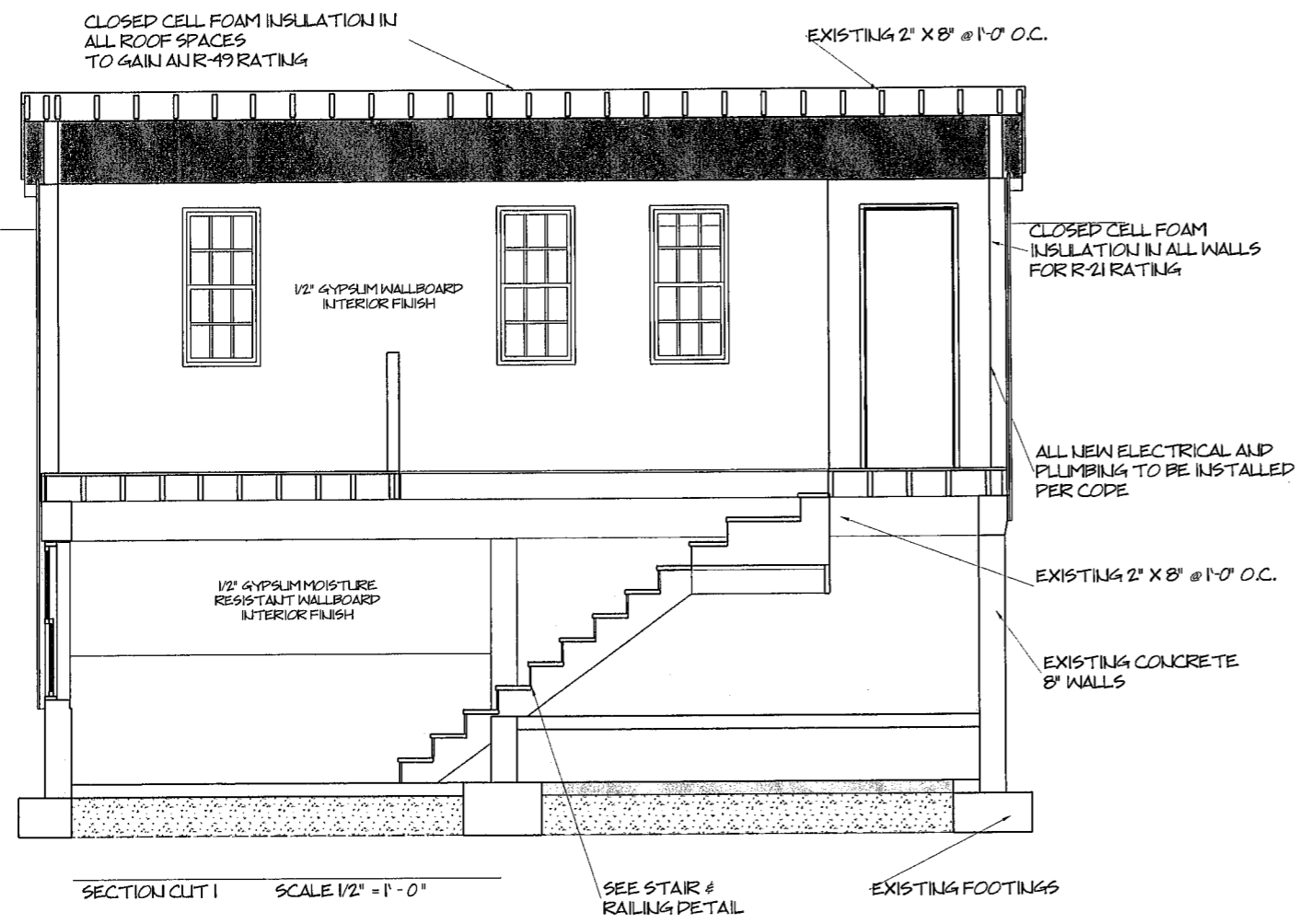
NOTE: ALL INTERIOR PLUMBING, ELECTRICAL AND INSULATION TO BE UPDATED TO CURRENT CODE (IRC2015)



FIRST FLOOR PLAN
418 SQ/FT
SCALE 1/2" = 1' - 0"



BASEMENT FLOOR PLAN
STORAGE 418 SQ/FT
SCALE 1/2" = 1' - 0"

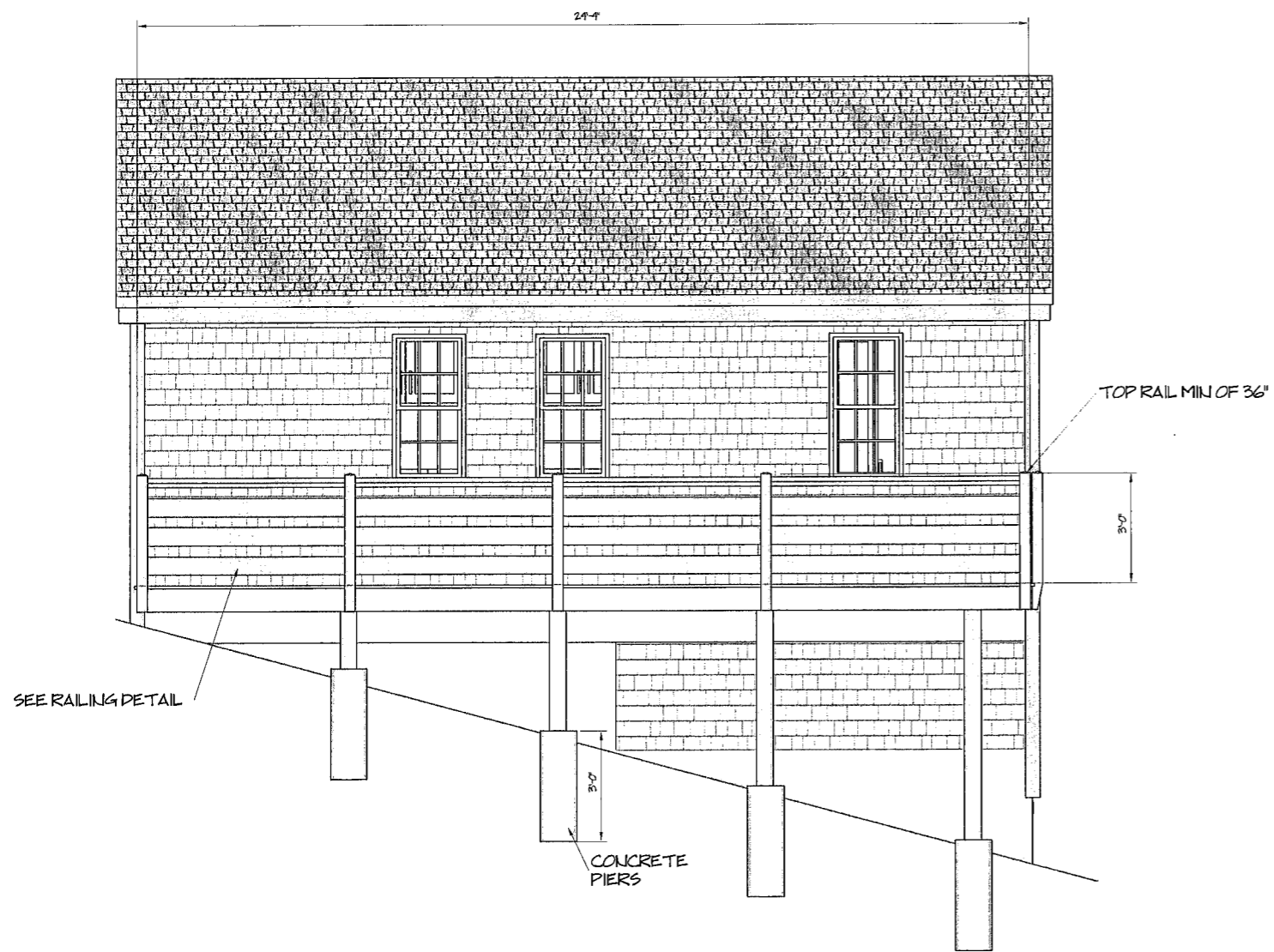


WINDOW SCHEDULE*			
MARK	QTY	DESCRIPTION	FRAME SIZE
A	6	DBL HUNG	2'-6" X 4'-0"
B	1	DBL HUNG	2'-6" X 4'-0"
C	2	DBL HUNG (EGRESS)	3'-0" X 5'-0"
E	1	OCTAGON WINDOW	2'-6" X 2'-6"

DOOR SCHEDULE*			
MARK	QTY	DESCRIPTION	FRAME SIZE
1	1	EXTERIOR INSULATED	3'-0" X 8'-0"
2	2	BIFOLD CLOSET DOOR	2'-6" X 6'-8"
3	1	POCKET DOOR	2'-8" X 6'-8"
4	1	DOUBLE FRENCH DR INSULATED	5'-0" X 6'-8"

* ALL DOOR STYLES, MATERIALS, FINISHES & WINDOW STYLES/TYPES SHALL BE SELECTED BY OWNER & COORDINATED W/ CONTRACTOR

DECK OPTION 1
SIDE ONLY

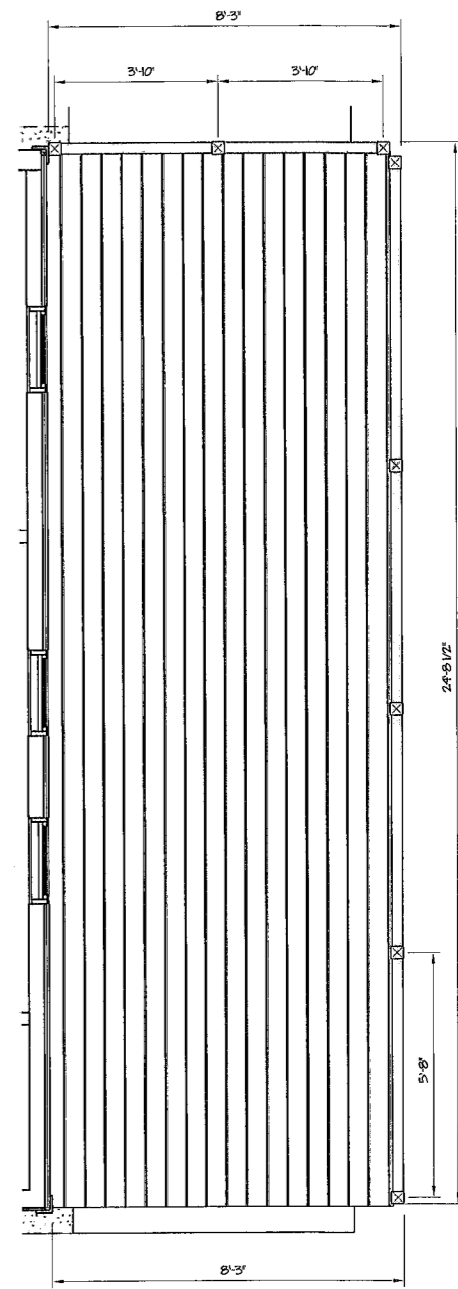


SEE RAILING DETAIL

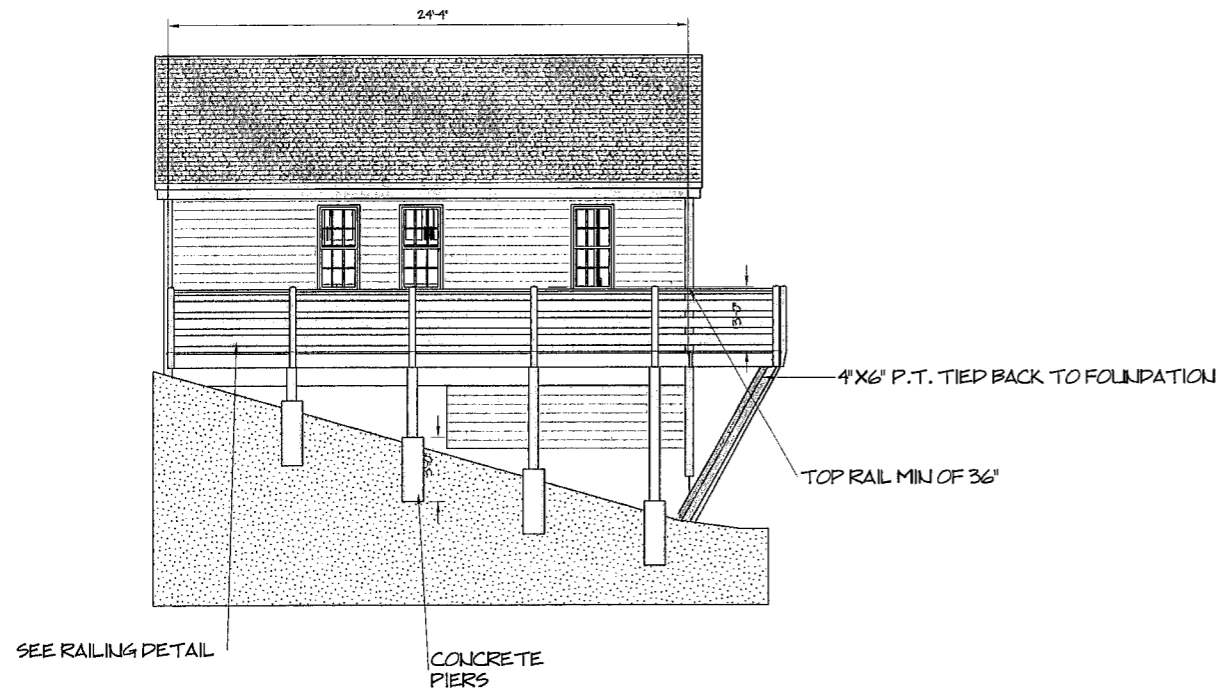
TOP RAIL MIN OF 36"

CONCRETE
PIERS

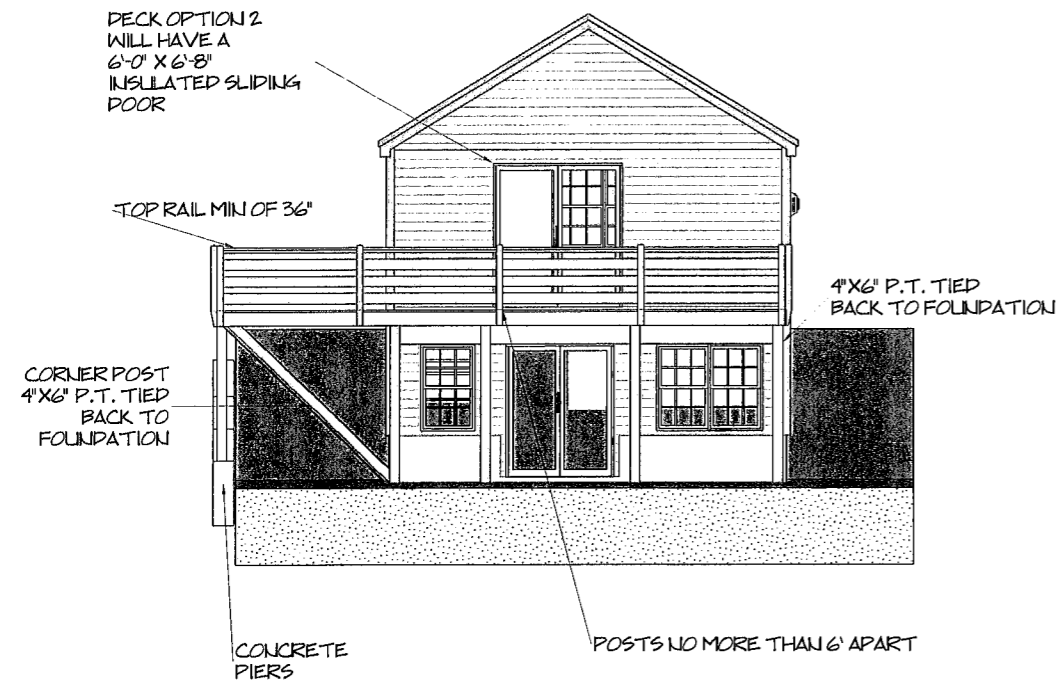
DECK OPTION 1 SCALE 1/2" = 1'-0"



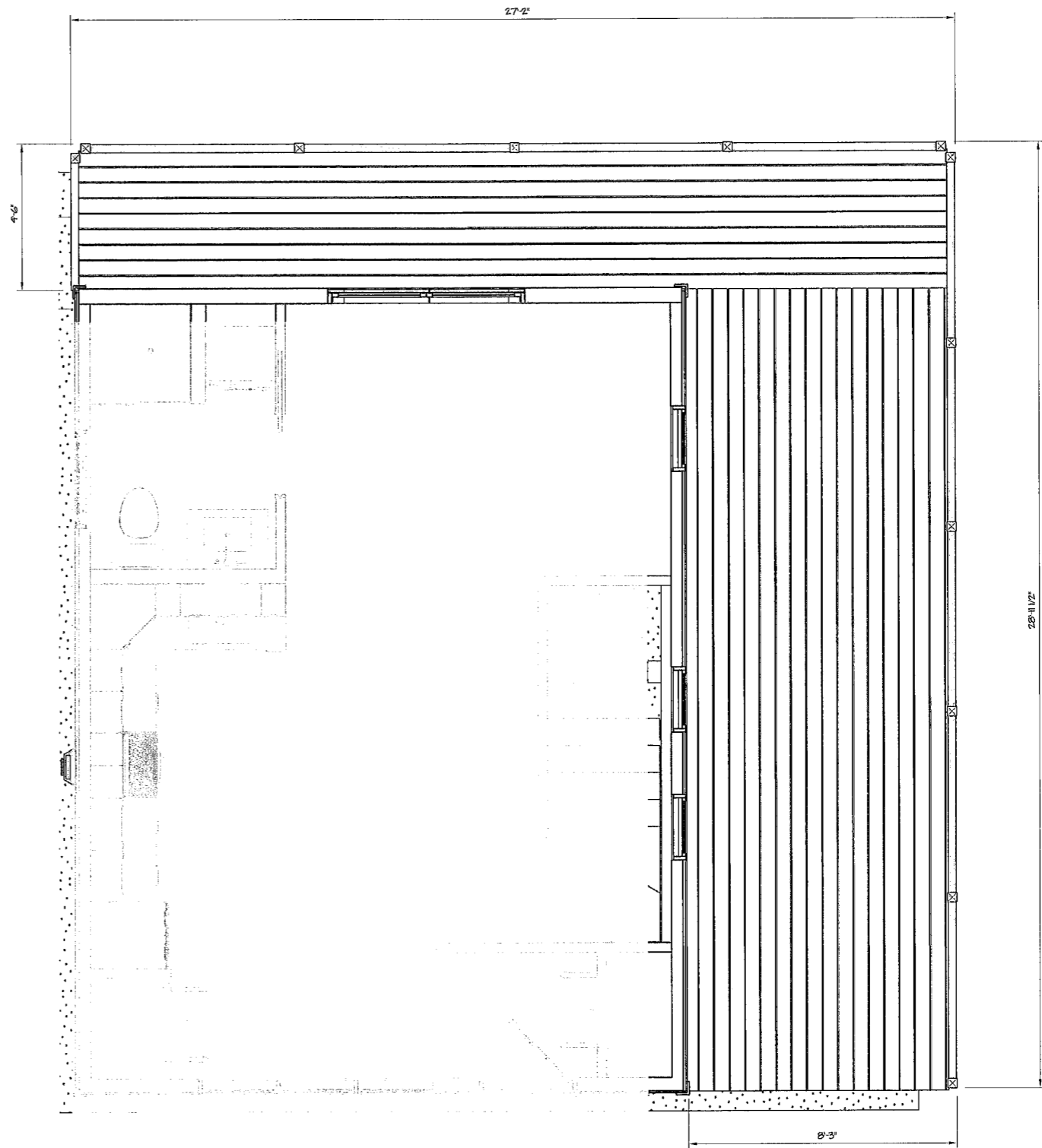
DECK OPTION 2
SIDE AND BACK DECK



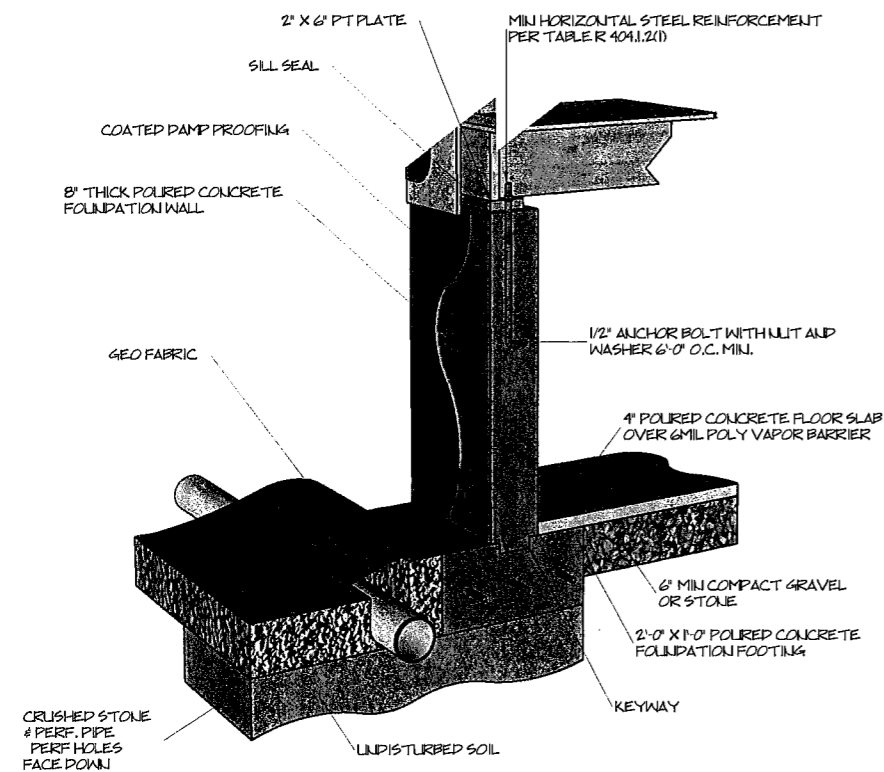
DECK OPTION 1 SCALE 1/4" = 1'-0"



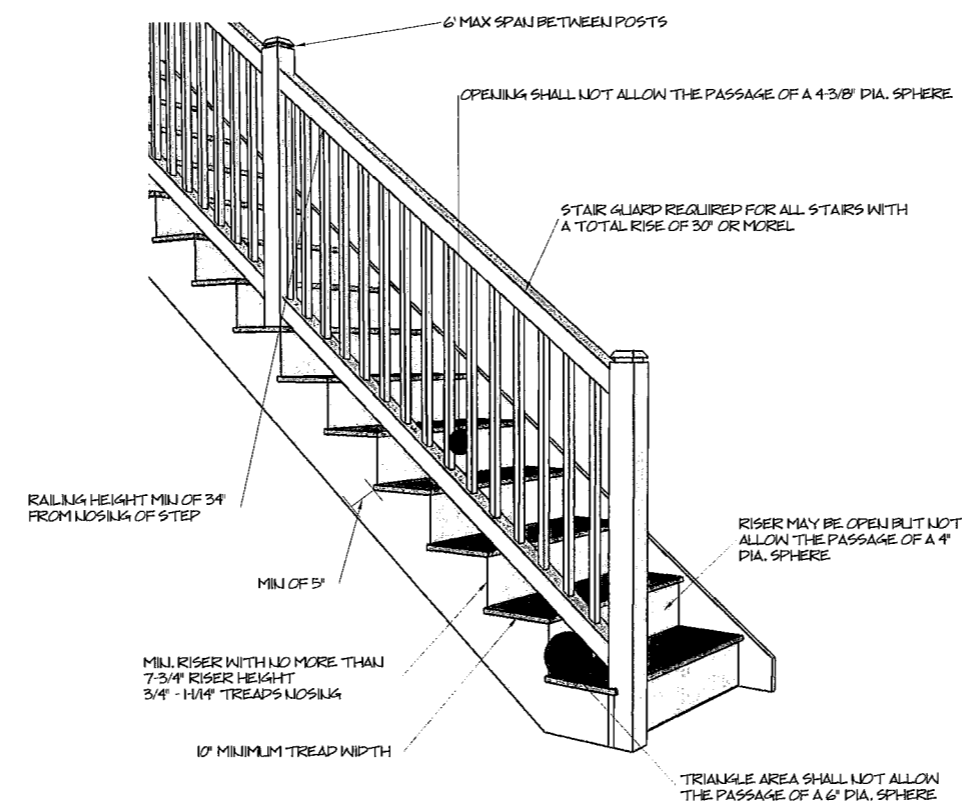
DECK OPTION 1 SCALE 1/4" = 1'-0"



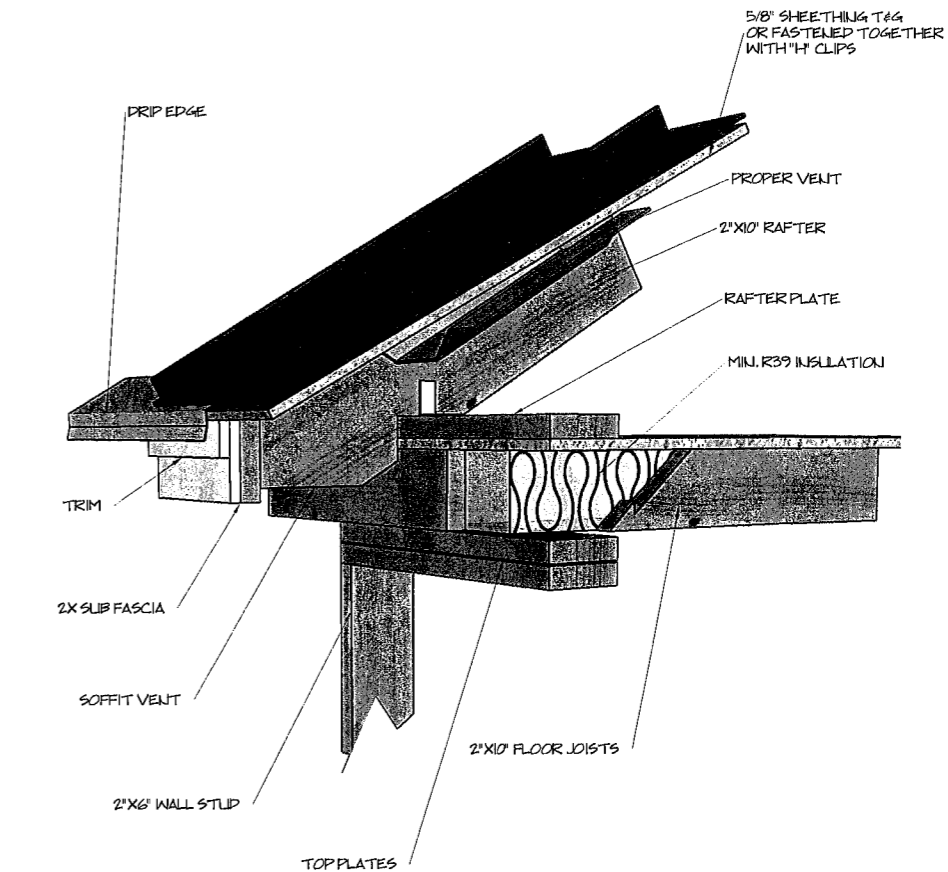
FOUNDATION DETAIL



STAIR AND RAILING DETAIL



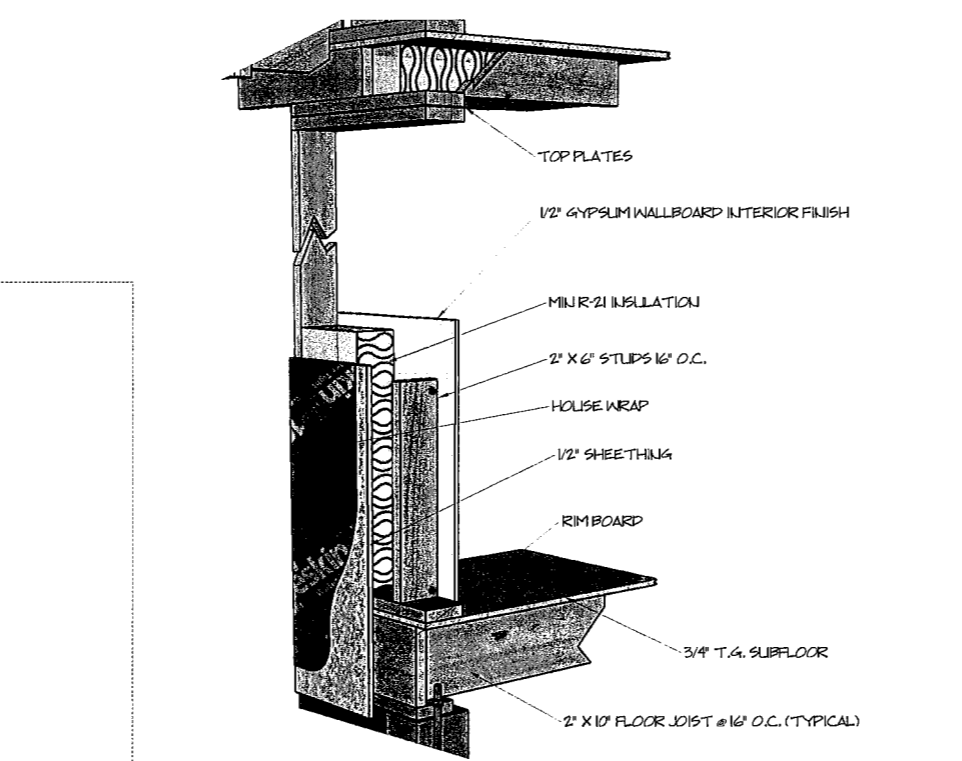
ROOF DETAIL



- TYPICAL ROOF ASSEMBLY:**
- 2"x10" RAFTERS @ 16" O.C. W/ HURRICANE CLIPS OR RAFTER SCREWS
 - BATT INSULATION IN ALL CAVITIES. USE PROPER VENT AS REQ'D. (REFER TO REQ'D. INSUL. TABLE FOR R-VALUE)
 - 5/8" PLYWOOD ROOF SHEATHING T&G OR FASTENED TOGETHER W/ 1/4" CLIPS
 - (2) ROWS ICE & WATER SHIELD UP ROOF EAVES (W/ 6" OVERLAP)
 - 15" ROOFING FELT PAPER OVER ENTIRE ROOF
 - ROOF SHINGLES PER ELEVATIONS
- NOTES**
- ALL ROOF OVERHANGS SHALL HAVE PERFORATED SOFFIT MATL. TO ALLOW VENTING
 - ALL ROOF RIDGES SHALL HAVE CONT. RIDGE VENTS, HOLD ROOF SHEATHING BACK AS REQ'

- TYPICAL EXTERIOR WALL ASSEMBLY:**
- 1/2" GMB. P.T.D. (1 COAT PRIMER & 2 COATS PAINT)
 - TYPE I OR II 6 MIL POLY VAPOR BARRIER
 - 2X6 K.P. WD. STUUPS @ 16" O.C. (2X8 @ GARAGE TALL WALLS)
 - BATT OR EQUIVALENT SPRAY FOAM INSULATION @ ALL WALL CAVITIES
 - 1/2" PLYWOOD SHEATHING
 - AIR INFILTRATION BARRIER
 - EXTERIOR SIDING PER ELEVATIONS

EXTERIOR WALL DETAIL



- STRUCTURAL GENERAL NOTES:**
- 1) TYPICAL INTERIOR CONC. PAD FOOTINGS SHALL BE MINIMUM 3'X3'X1' W/ (3) #5'S EACH WAY @ BOTTOM
 - 2) CONT. FOUNDATION FOOTINGS TO BE CONT. 8'X16' W/ (3) #5'S CONT. @ BOTTOM (B.O.F. @ 48" BELOW GRADE)
 - 3) PROVIDE 2X4 KEYWAY @ CONT. FOOTING TO FOUNDATION WALL
 - 4) FOUNDATION WALLS TO BE 8" THICK W/ (2) #5'S CONT. @ TOP & BOTTOM
 - 5) ALL FLOOR JOISTS SHALL BE 2X12 K.P. SPFN .11/N .2 @ 16" O.C.
 - 6) ALL INTERIOR BREAKING WALLS TO BE 2X6 K.P. WD STUUPS @ 16" O.C. #2 OR BETTER
 - 7) ALL FLOOR SHEATHING SHALL BE 3/4" PLYWOOD T&G GLUED & NAILED TO WD. JOISTS
 - 8) INSTALL 800# HOLD DOWN IN EXT. WALL CORNERS W/ LESS THAN 48" OF CONT. WALL SHEATHING
 - 9) SILL PLATE ANCHORS SHALL BE 10' LONG "J" GALV. BOLTS W/ 8" EMBEPPMENT, SPACED 4' - 0" O.C. MAX. W/ MAX. 12" FROM CORNER. MIN. (2) BOLTS PER PLATE
 - 10) PROVIDE CONT. SILL SEAL MATL. UNDER P.T. WD. SILL PLATE
 - 11) PROVIDE DOUBLE JACK STUUPS ON OPENINGS LARGER THAN 4' - 0"
 - 12) ALL WINDOW & DOOR HEADERS NOT DESIGNATED ON PLANS SHALL BE (2) 2X8 SPFN .1 OR BETTER
 - 13) REFER TO STRUCTURAL FRAMING PLANS FOR ALL BEAM SIZES & COLUMN & BEAM LOCATIONS

AWNING ROOF DETAIL

