



Town of Nottingham

P.O. Box 114, 139 Stage Road, Nottingham NH 03290 Office 603-679-9597 ext. 1, Fax 603-679-1013

PLANNING BOARD PROJECT APPLICATION

Subdivision Type: Conventional Open Space LLA

Site Plan Review: Conventional Change of Use

Concurrent- Subdivision/ Site Plan Review

Amendment to Approval of: Subdivision Site Plan Other

Total Acreage: <u>25 Acres</u>	Current Use Acreage: <u> </u>	# of Proposed Lots: <u> </u>
Project Address: <u>Rt. 4 Old TPK</u>		
Current Zoning Districts: <u>Commercial / Industrial</u>		
Overlay Districts: <u>Res / Ag</u>	Map(s): <u>4</u>	Lot (s): <u>1-1</u>
Request: <u>Saw mill and Furniture production business</u>		

The Property owner shall designate an agent for the project. This person (the applicant) shall attend pre-application conferences and public hearings, will receive the agenda, recommendations, and case reports, and will communicate all case information to other parties as required.

All contacts for this project will be made through the Applicant listed below.

- Form A "Abutters List" has been filed with this application no earlier than 5 days within submittal of this application with 3 labels per address on address labels (same size as Avery 5160/8160)
- Form B "Authorization to Enter upon Subject Property" has been filed with this application
- Form C "Authorization to Represent" has been filed with this application
- 6 sets of full size plans
- 10 sets of 11"x17" plans
- Waiver Form(s)
- Completed Checklist

Case#:	Project Name:	Date:
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Owner 1: <u>Wade Demanche</u>		
Company: <u>Precision cut lumber</u>		
Phone: <u>978 995 3283</u>	Fax:	E-mail: <u>gneti@ymail.com</u>
Address: <u>21 Fidler Terr Lowell MA 01850</u>		

Owner 1 Signature

Date

Owner 2:		
Company:		
Phone:	Fax:	E-mail:
Address:		

Owner 2 Signature

Date

Owner 3:		
Company:		
Phone:	Fax:	E-mail:
Address:		

Owner 3 Signature

Date

Owner 4:		
Company:		
Phone:	Fax:	E-mail:
Address:		

Owner 4 Signature

Date

Applicant (Contact): <u>Same</u>		
Company:		
Phone:	Fax:	E-mail:
Address:		

Developer:		
Company:		
Phone:	Fax:	E-mail:
Address:		

Engineer:		
Company:		
Phone:	Fax:	E-mail:
Address:		

Case#

Project Name

Date

ABUTTER(S) LIST

* PRINT THREE (3) ADDRESS LABELS PER ABUTTER INCLUDING THE APPLICANT, OWNER AND PROFESSIONAL(S)

1. APPLICANT INFORMATION:

Printed Name: _____ Contact Telephone: _____

Address: _____

2. OWNER INFORMATION:

Printed Name: _____

Address: _____

3. PROFESSIONAL(S) INFORMATION:

Printed Name: _____

Address: _____

Abutter(s) Information					
	Map:	Lot:	Sub lot:	Name:	Address:
4.					
6.					
7.					
8.					
9.					
10.					
11.					
12.					
13.					
14.					
15.					
16.					
17.					

SEE ATTACHED

I, _____, the undersigned, certify that to the best of my knowledge, the above is an accurate and complete abutter(s) list and that the information was obtained from the Nottingham Assessing Office no more than five (5) days prior to the date of this application..

[Handwritten Signature]
Applicant's Signature

3/5/2021
Date



Abutters List Report

Nottingham, NH
March 04, 2021

Subject Property:

Parcel Number: 004-0001-001
CAMA Number: 004-0001-001
Property Address: OLD TURNPIKE ROAD

Mailing Address: PRECISION CUT LUMBER, LLC
62 ROUTE 125
BRENTWOOD, NH 03833

Abutters:

Parcel Number: 003-0011-012
CAMA Number: 003-0011-012
Property Address: 11 LINCOLN DRIVE

Mailing Address: DONOVAN, RYAN PATRICK BURTON,
JENNIFER A
11 LINCOLN DRIVE
NOTTINGHAM, NH 03290

Parcel Number: 003-0011-013
CAMA Number: 003-0011-013
Property Address: 9 LINCOLN DRIVE

Mailing Address: RAYMOND, GREGORY J RAYMOND,
CHERYL A
9 LINCOLN DRIVE
NOTTINGHAM, NH 03290

Parcel Number: 003-0011-014
CAMA Number: 003-0011-014
Property Address: 5 LINCOLN DRIVE

Mailing Address: HILL, JEFFREY W TUCK, CHERI L
5 LINCOLN DRIVE
NOTTINGHAM, NH 03290

Parcel Number: 004-0001-000
CAMA Number: 004-0001-000
Property Address: 119 OLD TURNPIKE ROAD

Mailing Address: 119 OLD TURNPIKE ROAD, LLC.
PO BOX 1543
EAST GREENWICH, RI 02818

Parcel Number: 004-0001-00A
CAMA Number: 004-0001-00A
Property Address: 127 OLD TURNPIKE ROAD

Mailing Address: PAT & DEB, LLC
PO BOX 105
WEST NOTTINGHAM, NH 03291

Parcel Number: 004-0002-000
CAMA Number: 004-0002-000
Property Address: OLD TURNPIKE ROAD

Mailing Address: CAF REALTY LLC
PO BOX 874
DURHAM, NH 03824

Parcel Number: 004-0016-000
CAMA Number: 004-0016-000
Property Address: OLD TURNPIKE ROAD

Mailing Address: PARENTEAU, DEBRA A TRUSTEE DA
PARENTEAU REV TRUST
114 SMOKE ST
NOTTINGHAM, NH 03290

Additional: see attached tax cards for Barrington
Abutters



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

3/4/2021

Page 1 of 1

OWNER INFORMATION		SALES HISTORY	
Date	Book Page	Type	Price Grantor
04/03/2020	4748 94	UI138	NEWHALL FAM TR

NEWELL PATRICIA
368 MERRY HILL RD
BARRINGTON, NH 03825-3024

LEASING HISTORY		NOTES	
Date	Book Page	Type	Price Grantor
07/17/19	BCRR		
06/27/17	JHCM		
08/04/14	MWRR		
07/29/13	RRCL		
02/12/09	JDRL		
01/06/09	KSRM		
01/03/02	MRRM		

OLD MP/L#007-0004-0000/ PRVT WTR SPPLY & SPTC/ 2006-2007 UPDTE CU -
REMAP PRITAL ATTIC ABOVE L-SHPE AREA.. 09;ELEC=1/2 ORIG, 1/2 80'S
(FKA 35 WOOD RD) 2013: RF 2003, WINDS & SIDING FR, SOME NEWR SIDING
ON ADDN, KIT '60'S- AVG, RENOD BATH- AVG, HSF IS NARROW, SCUTTLE,
DNVU ATU- STAIRS BLOCKED- EXT & INT = FR; 6/17- TARP CRPT & RED
SHED NV, ADJ OBYS OVERALL FR FOR AGE FD= SETTILING UNHTD AREA
INT WALLS LOW QUAL

EXTRA FEATURES VALUATION		LAND VALUATION	
Feature Type	Units	Minimum Acreage: 2.00	Minimum Frontage: 200
FIREPLACE 1-1 STAND	1		
EXTRA KITCHEN	2		
BARN ISTRY	384		
SHED WOOD	720		
			11,000

MUNICIPAL SOFTWARE BY AVITAR	
BARRINGTON ASSESSING OFFICE	
PARCEL TOTAL TAXABLE VALUE	
Year	Building Features Land
2018	\$ 87,300 \$ 11,000 \$ 81,919
2019	\$ 97,400 \$ 11,000 \$ 82,598
2020	\$ 97,400 \$ 11,000 \$ 82,436
	Parcel Total: \$ 190,998
	Parcel Total: \$ 190,836

EAST REVALUATION 2019														
Land Type	Units	Base Rate	NC	Adj	Site	Road	DWay	Topography	Cond	Ad Valorem	SPI	R	Tax Value	Notes
IF RES	1,000 ac	80,000	1	100	100	100	100	100	95	76,000	0	N	76,000	SHARED DRIVE
IF RES	1,000 ac	x 2,500	X	69					80	1,400	0	N	1,400	
FARM LAND	5,000 ac	x 2,500	X	69					28	2,400	100	Y	1,647	
FARM LAND	5,000 ac	x 2,500	X	69					35	3,000	100	Y	1,647	
MNGD OTHER	74,830 ac	x 2,500	X	69					35	45,200	50	Y	1,653	
WETLANDS	5,000 ac	x 2,500	X	69					100	8,600	100	Y	89	
										136,600			82,436	

Zone: WOOD ROAD Minimum Acreage: 2.00 Minimum Frontage: 200 Site: Driveway: DIRT Road: PAVED

OWNER INFORMATION		SALES HISTORY	
Date	Book Page Type	Price	Grantor
10/26/2017	4522 266 U V 50		GREGG GENTILE RE LLC
09/23/2004	3070 221 U V 99		SAMONAS JOHN

LEE, NH 03861-6701

LISTING HISTORY

07/30/19 CWRR
 03/15/17 CWCL
 08/04/14 MWRR
 08/16/13 BHCL

NOTES

OLD MAP/LOT 007-0005-0000 (FKA WOOD RD) 8/6/2013-ABUTS NOTTINGHAM T/L NO KNOWN ACCESS BCKLND 3/2017-PER GIS MAP VACANT WOODDED WET 2017-INVLSAL TXDEED 4/19-TAXABLE WAITING FOR DEED TO COME THROUGH

EXTRA FEATURES VALUATION		MUNICIPAL SOFTWARE BY AVTAR	
Feature Type	Units Length x Width	Size Adj	Rate

LAND VALUATION		LAST REVALUATION 2019	
Zone: RURAL	Minimum Acreage: 2.00	Minimum Frontage: 200	
Land Type	Units	Base Rate	NC Adj
IF RES	9.700 ac	x 2,500	X
	9.700 ac		

Year	Building	Features	Land
2018	\$ 0	\$ 0	\$ 9,200
			Parcel Total: \$ 9,200
2019	\$ 0	\$ 0	\$ 11,500
			Parcel Total: \$ 11,500
2020	\$ 0	\$ 0	\$ 11,500
			Parcel Total: \$ 11,500

Driveway:	Site:	Ad Valorem	SPI	R	Notes
		50	11,500	0	N
			11,500		
					WET
					11,500
					11,500

BARRINGTON ASSESSING OFFICE



N/A

Town of Nottingham

P.O. Box 114, 139 Stage Road, Nottingham NH 03290 Office 603-679-9597 ext. 1, Fax 603-679-1013
Web: <http://www.nottingham-nh.gov> Email: plan.zone@nottingham-nh.gov

OWNER'S AUTHORIZATION FOR REPRESENTATION

Property location: Lot 4 1-1

I, the undersigned owner(s) of the property listed above, hereby verify that I have authorized: _____ to represent me/us and apply for the required approval(s) from the Planning Board in the Town of Nottingham, New Hampshire for the following:

- Subdivision/Lot Line Adjustment
- Site Plan Review
- Backlot Subdivision
- Design Review
- Other _____

FOR: _____

Name of Owner		
Address of Owner		
Signature of Owner		Date

Name of Owner		
Address of Owner		
Signature of Owner		Date

Name of Owner		
Address of Owner		
Signature of Owner		Date

Name of Owner		
Address of Owner		
Signature of Owner		Date

OWNER INFORMATION		SALES HISTORY				PICTURE
PRECISION CUT LUMBER, LLC		Date	Book	Page	Type	Price Grantor
62 ROUTE 125		09/30/2020	6171	2316	Q V	189,933 MORRISSETTE, KEVIN
BRENTWOOD, NH 03833		12/11/2019	6065	1361	U V 25	75,000 GREGG GENTILE REALTY
		11/18/2019			U V 38	1 GREGG GENTILE REALTY
		12/21/2018	5970	1498	U V 35	1 NOTTINGHAM TOWN OF
		03/21/2017	5805	1461	U V 50	1 GREGG GENTILE REALTY,

LISTING HISTORY		NOTES			
01/18/21	RWVL	SEMI CLEAR & LEVEL; 8/16 REAR OF LOT RECENTLY LOGGED. CLEARED			
12/16/20	INSP	SITE AT FRONTAGE, SECONDARY SITE IN REAR FROM LOG LANDING. 3/17			
09/03/20	JBHC	TAX COLLECTOR'S DEED; 05/20; VACANT, NC TO LOT; 7/20 FOR SALE			
05/27/20	JBVL	\$189,900 13 DOM. SOME WET AREAS IN REAR, MOST APPEARS TO BE			
08/03/16	JBVL	UPLAND APPROX 75%; 1/21; NO CONST STARTED, CK 22;			
05/16/16	INSP				
01/27/04	KMPL				

EXTRA FEATURES VALUATION		MUNICIPAL SOFTWARE BY AVITAR					
Feature Type	Units	Length x Width	Size Adj	Rate	Cond	Market Value	Notes

LAND VALUATION				LAST REVALUATION: 2020										
Zone: C/I COMM/IND DIST	Minimum Acreage: 2.00	Minimum Frontage: 200	Site: UND/CLR Driveway: DIRT/GRAVEL Road: PAVED											
Land Type	Units	Base Rate	NC	Adj	Site	Road	DWay	Topography	Cond	Ad Valorem	SPI	R	Tax Value	Notes
COM/IND	2,000 ac	135,000	E	100	60	100	95	100 -- LEVEL	125	96,200	0	N	96,200	USE
COM/IND	29,600 ac	x 2,500	X	100				95 -- MILD	75	52,700	0	N	52,700	PART WET
	31,600 ac									148,900			148,900	

PARCEL TOTAL TAXABLE VALUE			
Year	Building	Features	Land
2019	\$ 0	\$ 0	\$ 260,800
			Parcel Total: \$ 260,800
2020	\$ 0	\$ 0	\$ 148,900
			Parcel Total: \$ 148,900
2021	\$ 0	\$ 0	\$ 148,900
			Parcel Total: \$ 148,900

FIGURE OWNER TAXABLE DISTRICTS BUILDING DETAILS

PRECISION CUT LUMBER, LLC
62 ROUTE 125
BRENTWOOD, NH 03833

PERMITS	
Date	Project Type
12/09/20	NEW BUILDING
04/01/04	SUBDIVISION
	M-SUB

District Percentage

BUILDING SUB AREA DETAILS	
Model:	
Roof:	
Ext:	
Int:	
Floor:	
Heat:	
Bedrooms:	Baths:
	Extra Kitchens:
	Fixtures:
	Fireplaces:
	Generators:
A/C:	
Quality:	
Com. Wall:	
Stories:	Base Type:

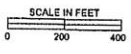
2020 BASE YEAR BUILDING VALUATION	
Year Built:	%
Condition For Age:	
Physical:	
Functional:	
Economic:	
Temporary:	%

PROPERTY MAP
NOTTINGHAM
NEW HAMPSHIRE



LEGEND

ARROWED MAP AND	LOT DIMENSIONS
PARTIAL NUMBER	PROPERTY MARKS
BOUNDARY LINE	RIGHT OF WAY
STREET ADDRESS NO.	EASEMENT

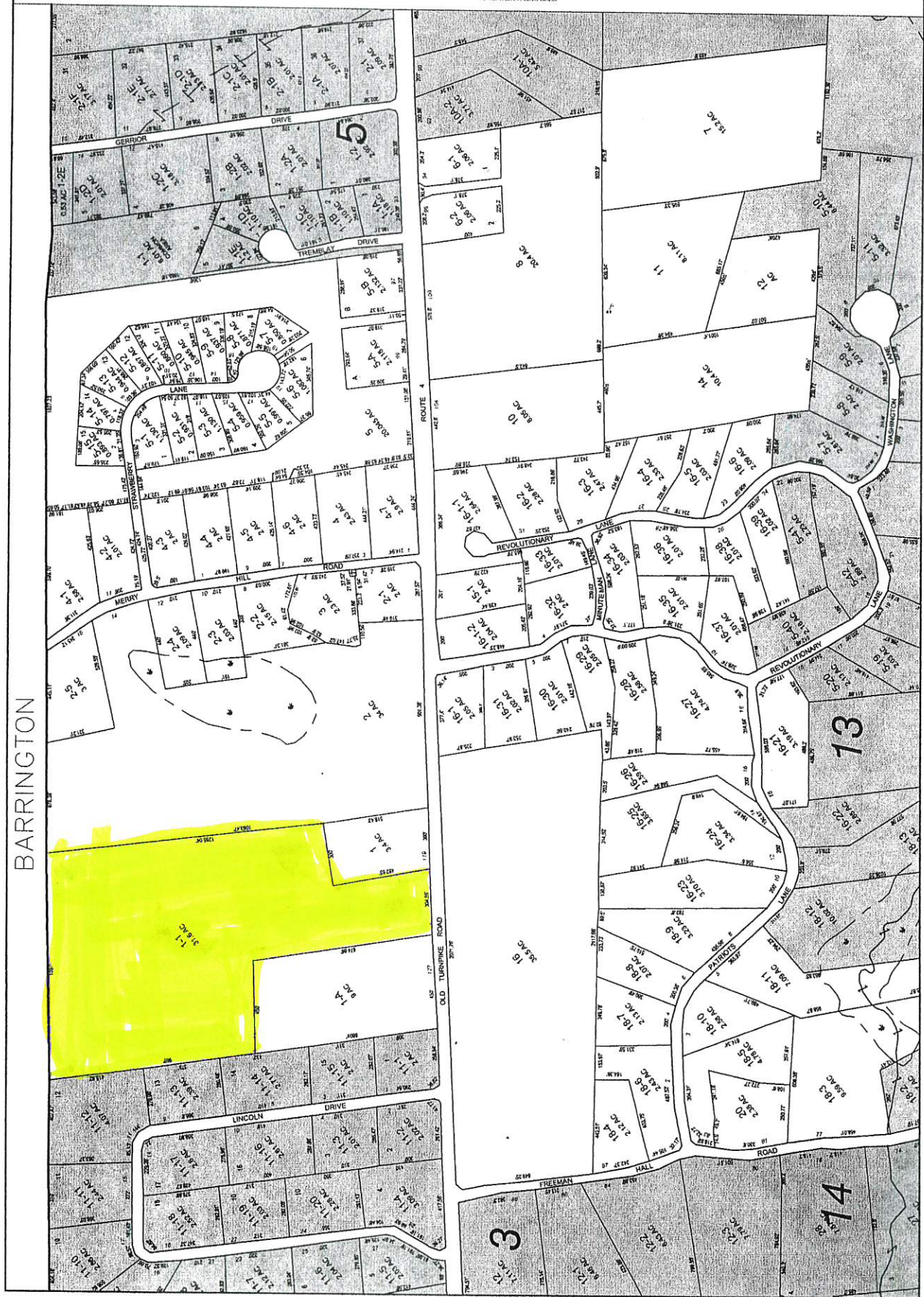


Revised & Reprinted by
CAI Technologies
Littleton, NH 03561

Original Mapping
Prepared by
John E. O'Donnell & Associates

4

REVISED 13th APRIL, 2019
FOR MASSACHUSETTS RECORDING
NOT FOR PROPERTY CONVEYANCES



BARRINGTON

**Project Application Checklist
Nottingham Planning Board**

This checklist is intended to assist applicants in preparing a complete application for subdivision as required by the Nottingham Subdivision Regulations and must be submitted along with all subdivision applications. An applicant seeking subdivision approval shall be responsible for all requirements specified in the Nottingham Subdivision Regulations even if said requirements are omitted from this checklist.

An applicant seeking subdivision approval shall be responsible for providing all the information listed in the column below entitled "Subdivision" and should place an "x" in each box to indicate that this information has been provided. If an item is considered unnecessary for certain application the "NA" box should be marked instead, indicating "Not Applicable". Only certain checklist items are required for lot line adjustments, as noted by the applicable check boxes below.

Check the Appropriate Box or Boxes Below: <input type="checkbox"/> Lot Line Adjustment <input type="checkbox"/> Subdivision Plan See Sections I & II See Sections I & II, III, IV & V	Subdivision		Office Use	
	Provided	N/A	Provided	N/A
Section I. General Requirements				
1. Completed Application Form	✓			
2. Complete abutters list	✓			
3. Payment of all required fees	✓			
4. <u>Six (6) full size sets of plans and ten (10) sets of plans 11"x 17"</u> submitted with all required information in accordance with the subdivision regulations and this checklist				
5. Copies of any proposed easement deeds, protective covenants or other legal documents		✓		
6. Any waiver request(s) submitted with justification in writing		✓		
7. Technical reports and supporting documents (see Section IX & X of this checklist)		✓		
8. Completed Application Checklist	✓			
Section II. General Plan Information				
1. Size and presentation of sheet(S) per registry requirements and the subdivision regulations		✓		
2. Title block information:				
a) Drawing title		✓		
b) Name of subdivision		✓		
c) Location of subdivision		✓		
d) Tax map & lot numbers of subjects parcel(s)	✓			
e) Name & address of owner(s)	✓			
f) Date of plan	✓			

Case#

Project Name

Date

	Provided	N/A	Provided	N/A
g) Scale of plan	✓			
h) Sheet number	✓			
i) Name, address, & telephone number of design firm	✓			
j) Name and address of applicant	✓			
3. Revision block with provision for amendment dates		✓		
4. Planning Board approval block provided on each sheet to be recorded				
5. Certification block (for engineer or surveyor)	✓			
6. Match lines (if any)				
7. Zoning designation of subject parcel(s) including overlay districts				
8. Minimum lot area, frontages & setback dimensions	✓			
9. List Federal Emergency Managements Agency (FFEMA) sheet(s) used to identify 100-year flood elevation, locate the elevation		✓		
10. Note the following: "If, during construction, it becomes apparent that deficiencies exist in the approved design drawings, the Contractor shall be required to correct the deficiencies to meet the requirements of the regulations at no expense to the Town."	✓			
11. Note the following: "Required erosion control measures shall be installed prior to any disturbance of the site's surface area and shall be maintained through the completion of all construction activities, If, during construction, it becomes apparent that additional erosion control measures are required to stop any erosion on the construction site due to actual site conditions, the Owner shall be required to install the necessary erosion protection at no expense to the Town."	✓			
12. Note identifying which plans are to be recorded and which are on file at the Town.				
13. Note the following: "All materials and methods of construction shall conform to Town of Nottingham Subdivision Regulations and the latest edition of New Hampshire Department of Transportation's Standard Specifications for Road & Bridge Construction."	✓			
14. North arrow				
15. Location & elevation(s) of 100-year flood zone per FEMA Flood Insurance Study				
16. Plan and deed references	✓			
17. The following notes shall be provided:				
a) Purpose of plan				
b) Existing and proposed use				
c) Water supply source (name of provider (company) if offsite)				
d) Zoning variances/special exceptions with conditions				
e) List of required permits and permit approval numbers				
f) Vicinity sketch showing 1,000 feet surrounding the site				
g) Plan index indicating all sheets				
18. Boundary of entire property to be subdivided				
19. Boundary monuments				
a) Monuments found				
b) Map number and lot number, name, addresses, and zoning of all abutting land owners				
c) Monuments to be set				
20. Existing streets:				

Case#

Project Name

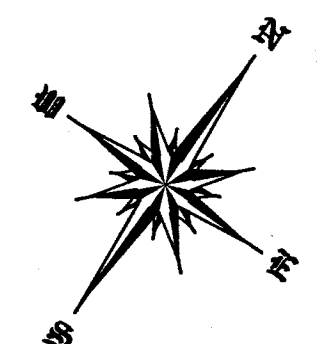
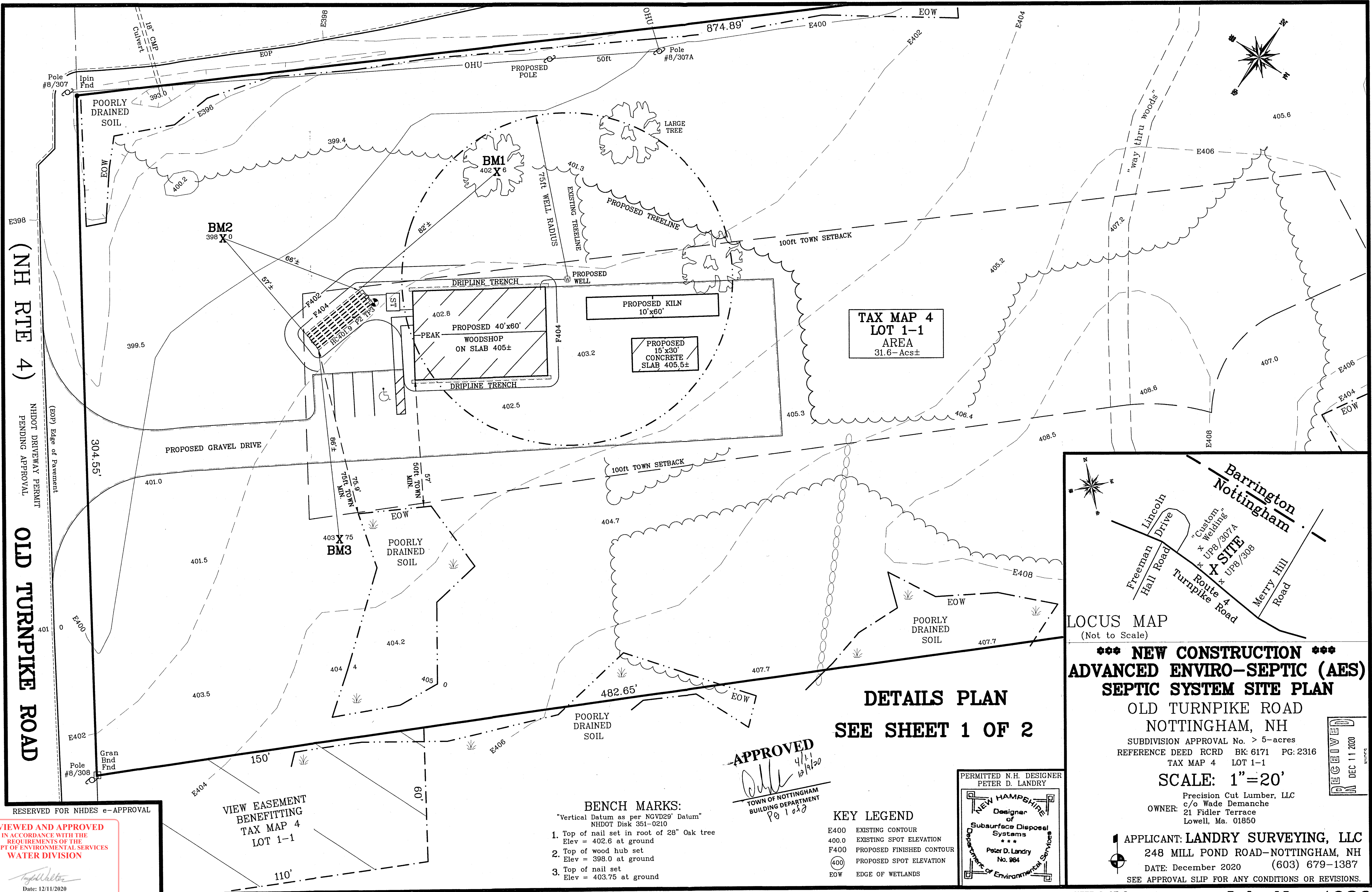
Date

	Provided	N/A	Provided	N/A
a) Name labeled				
b) Status noted or labeled				
c) Right-of-way dimensioned				
d) Pavement width dimensioned				
21. Municipal boundaries (if any)				
22. Existing easements (identified by type)		✓		
A. Drainage easement(s)				
B. Slope easement(s)				
C. Utility easement(s)				
D. Temporary easement(s) (Such as temporary turnaround)				
E. No-cut zone(s) along streams & wetlands (as may be requested by the Conservation Commission)				
F. Vehicular & pedestrian access easement(s)				
G. Visibility easement(s)				
H. Fire pond/cistern(s)				
I. Roadway widening easement(s)				
J. Walking trail easement(S)				
K. Other easement(s) Note type(s)		✓		
23. Designation of each proposed lot (by map & lot numbers as provided by the assessor)		✓		
24. Area of each lot (in acres & square feet):				
a) Existing lot(s)				
b) Contiguous upland(s)				
25. Wetland delineation (including Prime Wetlands):		✓		
a) Limits of wetlands				
b) Wetland delineation criteria				
c) Wetland Scientist certification				
26. Owner(s) signature(s)				
27. All required setbacks				
28. Physical features				
a) Buildings				
b) Wells				
c) Septic systems				
d) Stone walls				
e) Paved drives				
f) Gravel drives				
29. Location & name (if any) of any streams or water bodies				
30. Location of existing overhead utility lines, poles, towers, etc.				
31. Two-foot contour interval topography shown over all subject parcels				
32. Map & lot numbers, name, addresses, and zoning of all abutting land owners	✓			

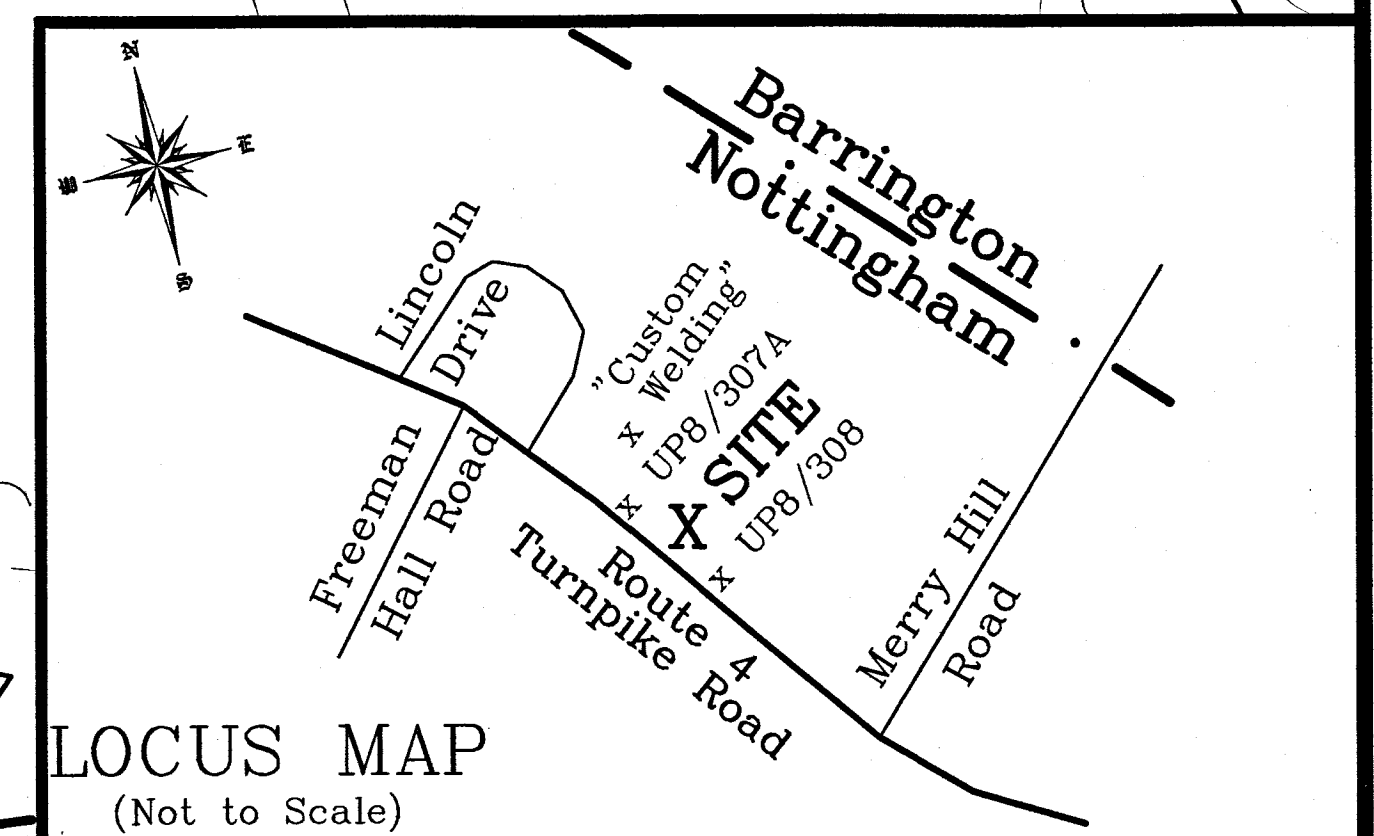
Section III Proposed Site Conditions Plan (Use Sections I General Requirements & Section II General Plan Information)				
1. Surveyor's stamp and signature by Licensed Land Surveyor	✓			
	Provided	N/A	Provided	N/A
2. Proposed lot configuration defined by metes & bounds		✓		
3. Proposed easements defined by metes & bounds. Check each type of proposed easement applicable to this application:		✓		
a) Drainage easement(s)		✓		
b) Slope easement(S)		✓		
c) Utility easement(s)		✓		
d) Temporary easement(s) (such as temporary turnaround)		✓		
e) Roadway widening easement(s)		✓		
f) Walking trail easement(s)		✓		
g) Other easement(s) Note type(s)		✓		
4. Area of each lot (in acres & square feet):				
a) Total upland(s)				
b) Contiguous upland(s)				
5) Proposed streets:		✓		
a) Name(s) labeled				
b) Width of right-of-way dimensioned				
c) Pavement width dimensioned				
6. Source and datum of topographic information (USGS required)				
7. Show at least one benchmark per sheet (min.) and per 5 acres (min.) of total site area	✓			
8. Soil Conservation Service (SCS) soil survey information		✓		
9. Location, type, size & inverts of the following (as applicable):		✓		
a) Existing water systems				
b) Existing drainage systems				
c) Existing utilities				
10. 4K affluent areas with 2 test pit locations shown with suitable leaching areas	✓			
11. Location of all water wells with protective radii as required by the NH Department of Environmental Services (meeting Town and NHDDES setback requirements)	✓			
12. Existing tree lines				
13. Existing ledge outcroppings & other significant natural features				
14. Drainage, Erosion and Sediment Control Plan(s) containing all of the requirements specified in Section 16.3.2 (Final Plan Requirements) of the Subdivision Regulations				
Section IV				
Construction Detail Drawings				
Note: Construction details to conform with NHDOT Standards & Specifications for Roads & Bridges, Town of Nottingham Highway Department requirements, and Subdivision Regulations				
1. Typical cross-section of roadway				
2. Typical driveway apron detail				
3. Curbing detail				
4. Guardrail detail				

5. Sidewalk detail		✓		
6. Traffic signs and pavement markings		✓		
7. Drainage structure(s)		✓		
8. Outlet protection riprap apron		✓		
	Provided	N/A	Provided	N/A
9. Level spreader		✓		
10. Treatments swale		✓		
11. Typical section at detention basin		✓		
12. Typical pipe trench		✓		
13. Fire protection details		✓		
14. Erosion control details				
15. Construction Notes				
a) Construction sequence				
b) Erosion control notes				
c) Landscaping notes				
d) Water system construction notes				
e) Sewage system construction notes				
f) Existing & finish centerline grades				
g) Proposed pavement – Typical cross-section				
h) Right-of-way and easement limits				
i) Embankment slopes				
j) Utilities				
Section V.				
Supporting Documentation If Required				
1. Calculation of permitted housing density (for Open Space Subdivisions only as required in the Nottingham Zoning Ordinance)				
2. Stormwater management report				
3. Traffic impact analysis				
4. Environmental impact assessment				
5. Hydrogeological study				
6. Fiscal impact. study provided				
7. Site Inventory and Conceptual Development Plan (from preliminary Open Space Subdivision review only)				

Note: This checklist shall be completed and returned as part of the original application packet.



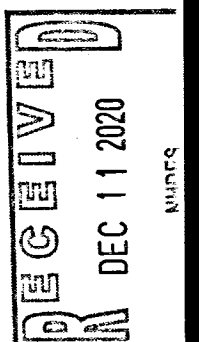
**TAX MAP 4
LOT 1-1
AREA
31.6-Acs±**



***** NEW CONSTRUCTION ***
ADVANCED ENVIRO-SEPTIC (AES)
SEPTIC SYSTEM SITE PLAN**

**OLD TURNPIKE ROAD
NOTTINGHAM, NH**
SUBDIVISION APPROVAL No. > 5-acres
REFERENCE DEED RCRD BK: 6171 PG: 2316
TAX MAP 4 LOT 1-1
SCALE: 1"=20'
Precision Cut Lumber, LLC
c/o Wade Demanche
21 Fidler Terrace
Lowell, Ma. 01850

APPLICANT: LANDRY SURVEYING, LLC
248 MILL POND ROAD-NOTTINGHAM, NH
DATE: December 2020 (603) 679-1387
SEE APPROVAL SLIP FOR ANY CONDITIONS OR REVISIONS.

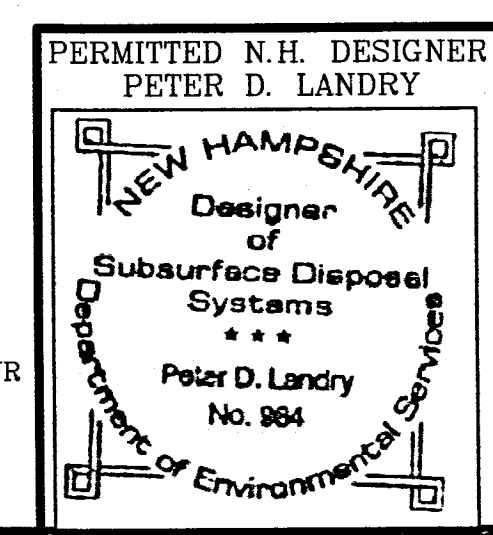


**DETAILS PLAN
SEE SHEET 1 OF 2**

APPROVED
Peter D. Landry
4/11/20
12/19/20
TOWN OF NOTTINGHAM
BUILDING DEPARTMENT
Peter D. Landry

- BENCH MARKS:**
"Vertical Datum as per NGVD29' Datum"
NHDOT Disk 351-0210
1. Top of nail set in root of 28" Oak tree
Elev = 402.6 at ground
 2. Top of wood hub set
Elev = 398.0 at ground
 3. Top of nail set
Elev = 403.75 at ground

- KEY LEGEND**
- E400 EXISTING CONTOUR
 - 400.0 EXISTING SPOT ELEVATION
 - F400 PROPOSED FINISHED CONTOUR
 - (400) PROPOSED SPOT ELEVATION
 - EOW EDGE OF WETLANDS



REVIEWED AND APPROVED
IN ACCORDANCE WITH THE
REQUIREMENTS OF THE
NH DEPT OF ENVIRONMENTAL SERVICES
WATER DIVISION
[Signature]
Date: 12/11/2020
#cA2020121118

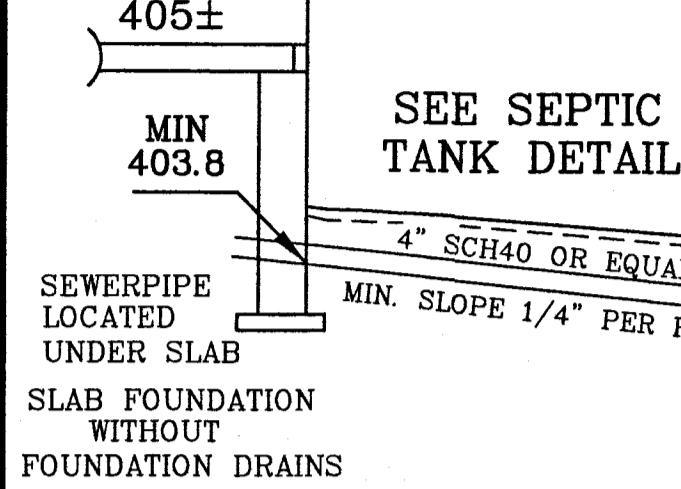
**VIEW EASEMENT
BENEFITTING
TAX MAP 4
LOT 1-1**

**(NH RTE 4)
OLD TURNPIKE ROAD**

##MINIMUM ELEVATIONS FOR SEPTIC SYSTEM ONLY. SILL/ SLAB ELEVATIONS TO BE DETERMINED BY CONTRACTOR.

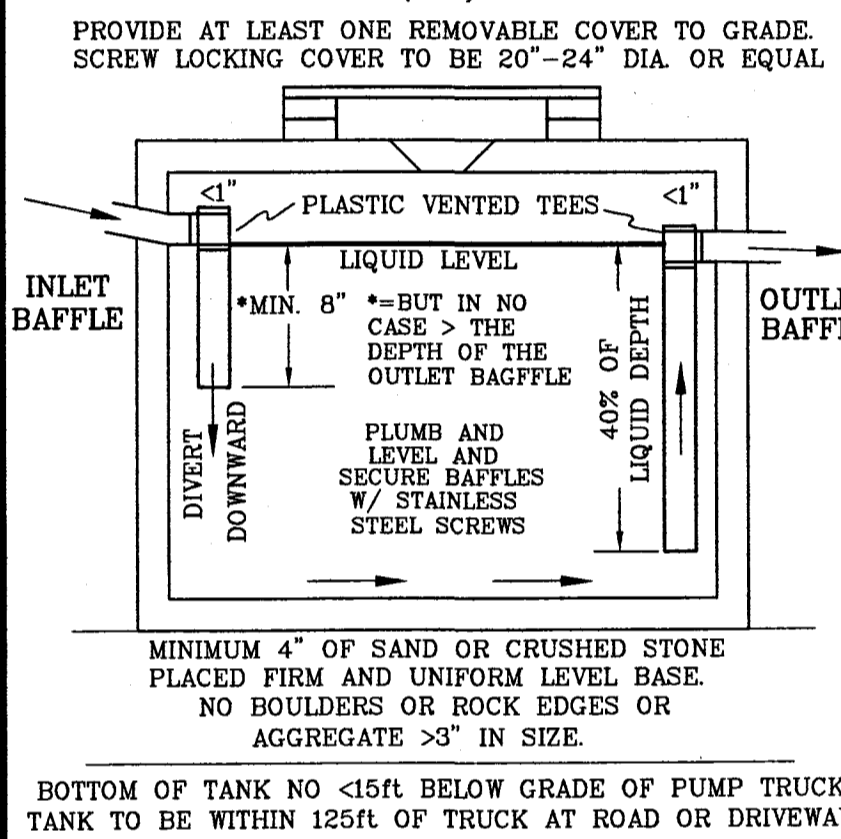
NOTE: ALL CONNECTIONS BETWEEN A SEPTIC TANK AND THE PIPES LEADING TO AND EXITING FROM THE SEPTIC TANK SHALL BE SEALED WITH A WATERTIGHT, FLEXIBLE JOINT CONNECTOR. (MEET OR EXCEED ASTM C 1644-06, SEC.7)

PROPOSED TOP OF SLAB ELEV. 405±



THE LIQUID DEPTH IN ANY SINGLE OR MULTIPLE-COMPARTMENT SEPTIC TANK (THAT IS NOT A LEDGE TANK) SHALL BE 40 INCHES OR MORE IN EACH COMPARTMENT.

SEPTIC TANK DETAIL
(See Env-Wq 1010) (nts)



MINIMUM 4" OF SAND OR CRUSHED STONE PLACED FIRM AND UNIFORM LEVEL BASE. NO BOULDERS OR ROCK EDGES OR AGGREGATE >3" IN SIZE.

RESERVED FOR NHDES e-APPROVAL

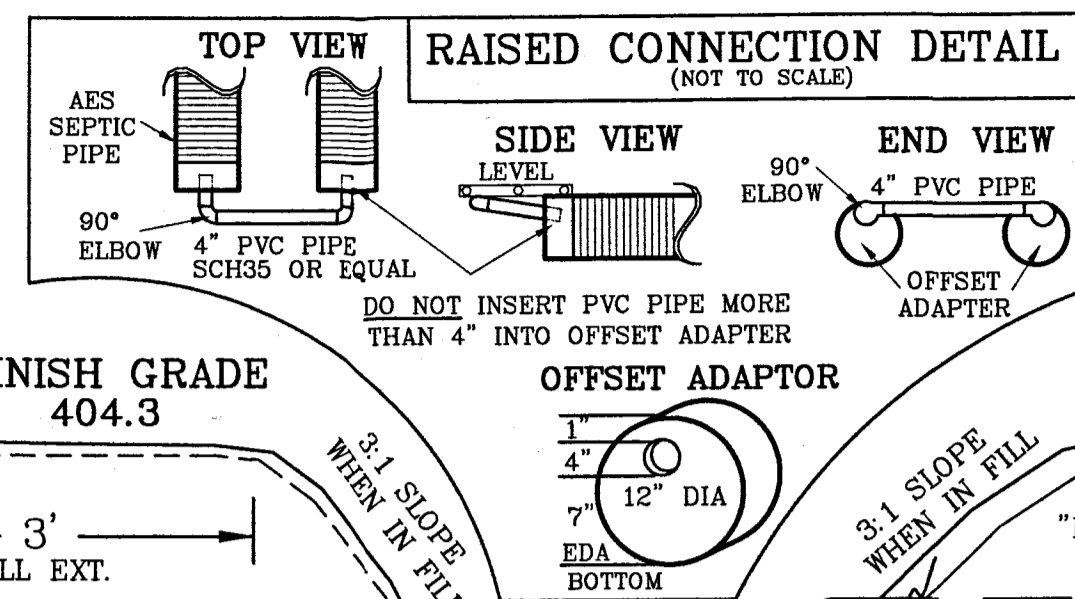
SYSTEM NOTES: # = MIN. TOWN REQUIREMENT

- 1) NO SURFACE WATER/ VERY POORLY DRAINED SOILS WITHIN 75 FEET OF THE EDA.
- 2) NO POORLY DRAINED SOILS WITHIN 75 FEET OF THE EDA.
- 3) NO PRIVATE WELLS WITHIN 75 FEET OF THE EDA.
- 4) EXPOSED LEDGE IS WITHIN 75 FEET OF THE EDA.
- 5) WATERLINE MUST BE 25 FOOT MINIMUM FROM EDA.
- 6) SUITABLE REPLACEMENT AREA, IN PLACE OR REDESIGN.
- 7) FOUNDATION DRAINS, 15ft MIN. TO EDA & 5ft MIN. TO TANK. W/O DRAINS, 10ft MIN. TO EDA & 5ft MIN. TO TANK.

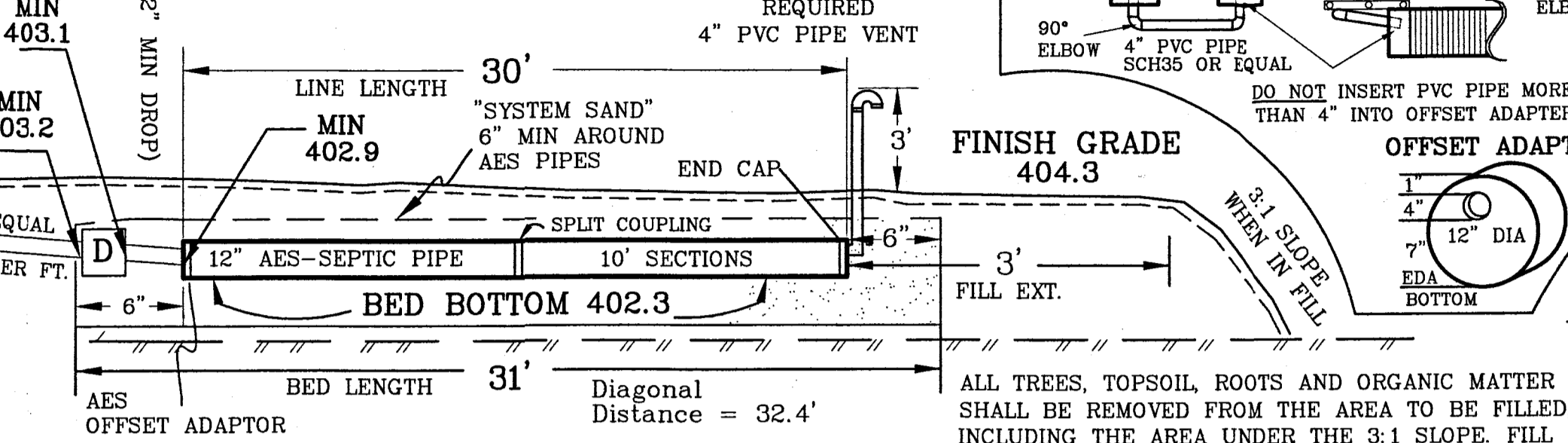
SEE "INSTALLATION MANUAL" FOR VENTING TIPS & REQUIREMENTS

REQUIRED 4" PVC PIPE VENT

NOTE: ALL COMPONENTS UNDER PAVEMENT OR ROADWAY TO BE H-20. CONTRACTOR SHOULD USE CARE TO INSURE ADEQUATE BACKFILLING AND PROPER COMPACTION AROUND ALL PIPES. WHERE VEHICULAR TRAFFIC IS ANTICIPATED, CONSIDERATION SHOULD BE GIVEN TO DEPTH OF PIPE TO AVOID CRUSHING. (IF NECESSARY, CONTACT DESIGNER FOR ADVICE)



AES BED BOTTOM TO BE LEVEL CROSS SECTION DISPOSAL SYSTEM



NOTE: 6 LINE SYSTEM

"FILL SAND" = Medium to Coarse Sand, Size 0.25 to 2.0mm. No >5% passing the #200 sieve, required around circumference of AES Pipes (See Manual for complete sand and fill specifications).

'RECEIVING LAYER CREATION' FILL MATERIAL

- 1) CONTAINS NO TREE STUMPS, SAWDUST, WOOD CHIPS, TREE BARK, BRICKS, ASPHALT, CONCRETE, METAL, WALLBOARD, CONSTRUCTION DEBRIS, OR OTHER SUCH NON-SOIL MATERIALS.
- 2) CONTAIN NO MORE THAN 25% BY VOLUME OF COBBLES LARGER THAN 6 INCHES IN DIAMETER OR STONES LARGER THAN 12" IN DIA.
- 3) HAVE A PERCOLATION RATE OF NOT GREATER THAN 15 MINUTES INCH AFTER PLACEMENT AND COMPACTION.
- 4) BE HOMOGENEOUS. (per Env-Wq 1014.01)

DISPOSAL OF RESIDENTIAL WATER TREATMENT BACKWASH
(as per Env-Wq 1022.04)

- 1) SYSTEM NOT DESIGNED TO HANDLE THE EXISTING WATER TREATMENT DISCHARGE. DISCHARGE INTO AN ALTERNATIVE DISPOSAL SYSTEM, SUCH AS A MINI-DRYWELL, SMALL LEACHING PIT OR TRENCH.
- 2) NOT INTENDED FOR 'GREY WATER' USE.

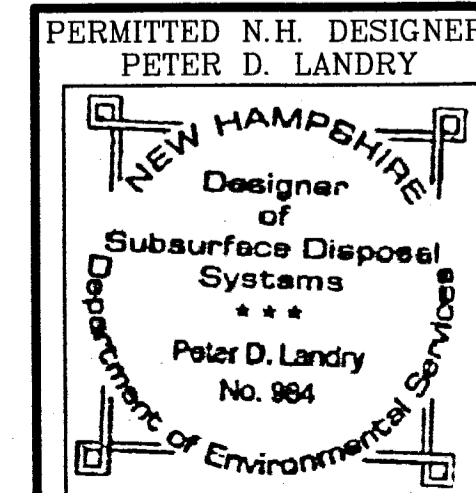
DESIGN INTENT:

"THE BOTTOM OF THE EFFLUENT DISPOSAL AREA (EDA) SHALL BE CONSTRUCTED AT 402.3 ELEVATION"; "THERE IS APPROXIMATELY 0.4 FEET ABOVE ORIGINAL GROUND ON THE HIGH CONTOUR (HC) OF THE DESIGNED EFFLUENT DISPOSAL AREA (EDA)"
HC=401.9-0.4=402.3BB

NOTES:

- 1) THIS PLAN IS FOR WATER POLLUTION PURPOSES ONLY. THIS PLAN IS NOT TO BE CONSTRUED AS A BOUNDARY SURVEY. LOT LINES SHOWN ARE APPROXIMATE. IF NEEDED, LOT LINES SHOULD BE VERIFIED BY A LICENSED LAND SURVEYOR.
- 2) EXACT COMPLIANCE WITH THE "APPROVED" PLAN IS NECESSARY TO MEET STATE REQUIREMENTS. CHANGES ARE COMMON, BUT WILL REQUIRE "AMENDED" OR "REVISED" PLANS. CONTACT DESIGNER PRIOR TO ANY CHANGES.
- 3) CONTRACTOR SHOULD CHECK TOWN BUILDING & ZONING REQUIREMENTS PRIOR TO CONSTRUCTION.
- 4) GARBAGE DISPOSALS OR WATER SOFTENERS NOT RECOMMENDED. SYSTEM NOT DESIGNED TO HANDLE THESE UNITS. IF EITHER UNIT IS TO BE USED, CONTACT DESIGNER.
- 5) THE WETLAND SHOWN WAS DELINEATED IN ACCORDANCE WITH THE "CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1", JANUARY 1987, AND THE "FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, LATEST VERSION.
- 6) THERE IS NO EVIDENCE OF ANY APPARENT BURIAL SITES/ CEMETERIES WITHIN 100FT OF ANY SEPTIC COMPONENT.

APPROVED
4/11/20
12/11/20
TOWN OF NOTTINGHAM
BUILDING DEPARTMENT
PB 2/16/2



****** IMPORTANT SYSTEM NOTICES ******

- 1) ADVANCED ENVIRO-SEPTIC (AES) TREATMENT SYSTEMS ARE APPROVED BY NHDES AS AN ITA IN ACCORDANCE WITH PART Env-Wq 1024. (ITA) INNOVATIVE/ALTERNATIVE TECHNOLOGY APPROVAL 2010-07-01.
- 2) SYSTEM TO BE INSTALLED IN ACCORDANCE WITH PRODUCT DESIGN AND INSTALLATION MANUAL, STATE AND LOCAL REGULATIONS. INSTALLER SHALL READ AND THEN UTILIZE THE "PRESBY INSTALLATION MANUAL" AS PART OF THE CONSTRUCTION OF THE SYSTEM.
- 3) THE SYSTEM IS DESIGNED IN ACCORDANCE WITH THE LATEST VERSION OF THE PRESBY WASTEWATER TREATMENT SYSTEM - NEW HAMPSHIRE DESIGN AND INSTALLATION MANUAL.
- 4) FOR PRODUCT INFORMATION, NEAREST PRODUCT DEALER OR INSTALLER CONCERNS, COMMENTS OR IDEAS, PLEASE CONTACT:

PRESBY ENVIRONMENTAL, INC.
RTE 117 - PO BOX 617 - SUGAR HILL, N.H. 03585
phone 1-800-473-5298
www.PresbyEnvironmental.com

NRCS (SCS) SOIL TYPE
447=Scituate-Newfields complex
SOURCE:
Rockingham County Soil Survey
October 1994 - Map 47 (inset)

PERCOLATION TEST DATA

DATE TEST CONDUCTED: 8/26/2000
RESULTS: 12 min/1"
DEPTH OF HOLE: 20"

TEST PIT DATA

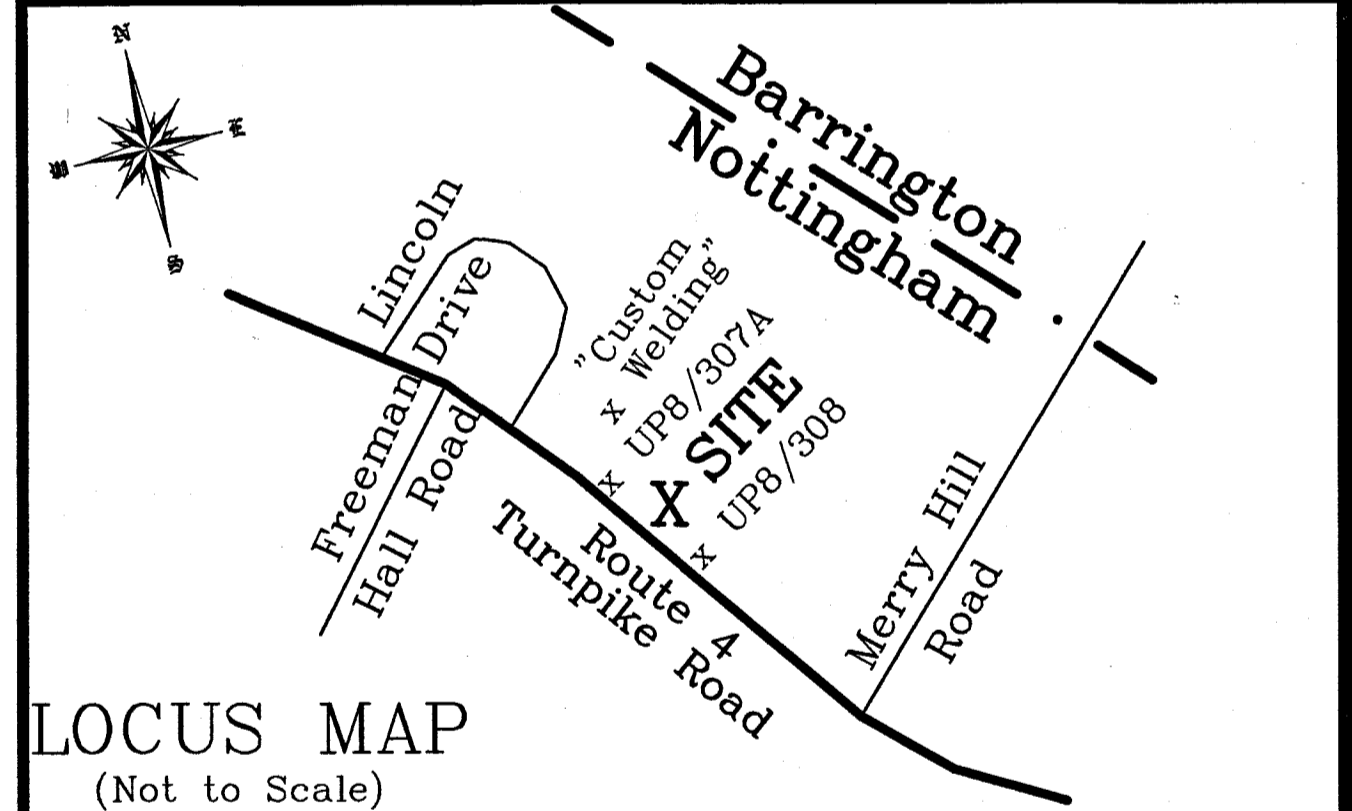
OBSERVED BY: Peter D. Landry, Designer
DATE: August 26, 2000

TP1-TP2	Elev. (402.0)	TP3	Elev. (402.0)
Located Offsite		10YR3/4 - Loamy Sand	
		Granular - Very Friable	
		10YR5/8 - Loamy Sand	(400.3)
		Granular - Friable	
ESHWT		2.5Y6/6 - Loamy Sand	ESHWT
		Blocky - Friable	
60"		Total No Refusal (96.6)	(397.0)
		No Water Observed	

AES SIZING:

*See Linear Footage - Table A
'AES' Reference Manual
TOTAL LOADING: 300 GPD
PERCOLATION RATE: 12 Min/1"
(60)/(3.0)=180 FEET REQUIRED
180 LINEAR FEET PROVIDED
INSTALL: (6) 30FT LINES
SPACED 1.5FT ON CENTER
SIZE=9.5FT x 31FT

SITE PLAN
SEE SHEET 2 OF 2

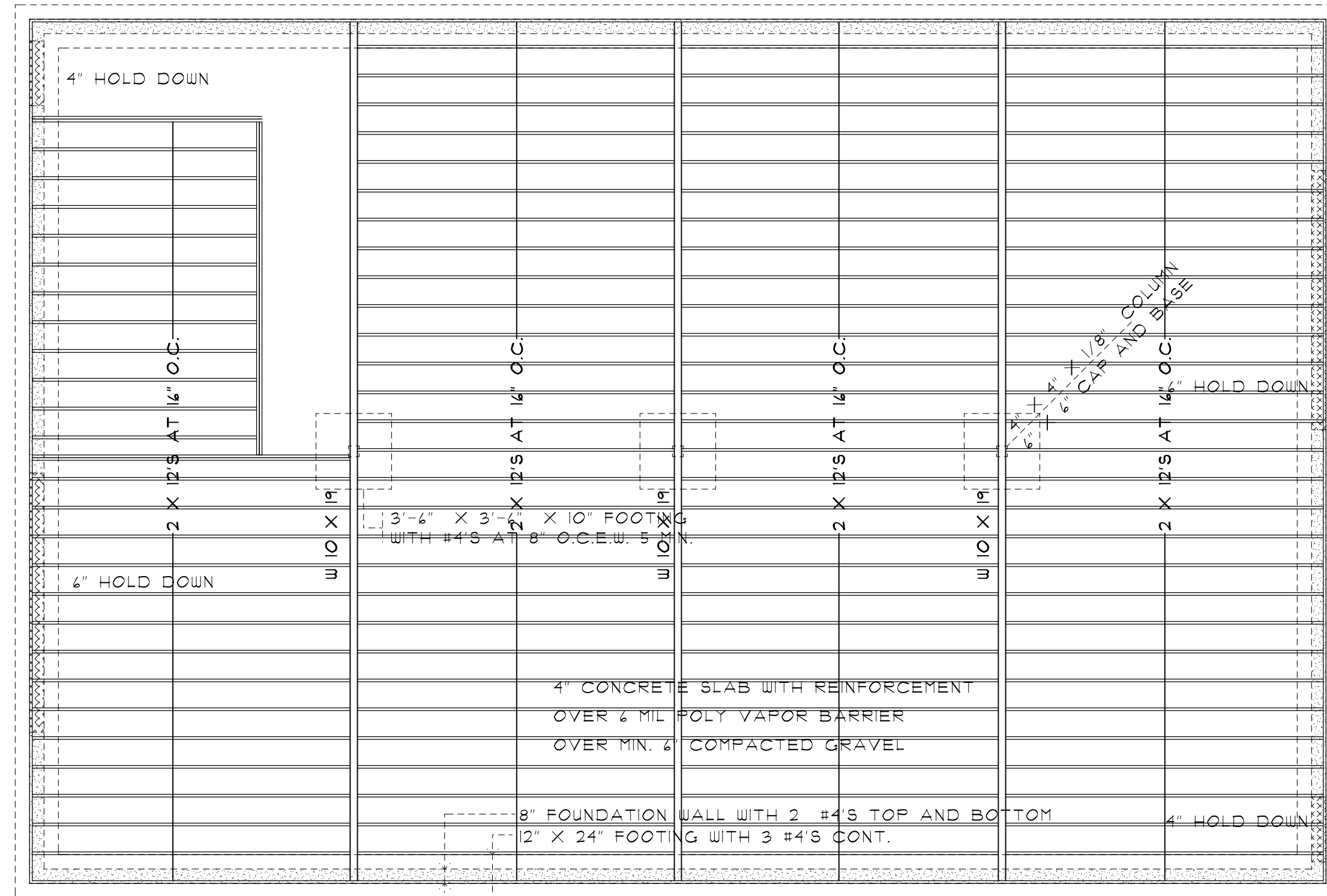


***** NEW CONSTRUCTION ***
ADVANCED ENVIRO-SEPTIC (AES)
SEPTIC SYSTEM DETAILS PLAN**

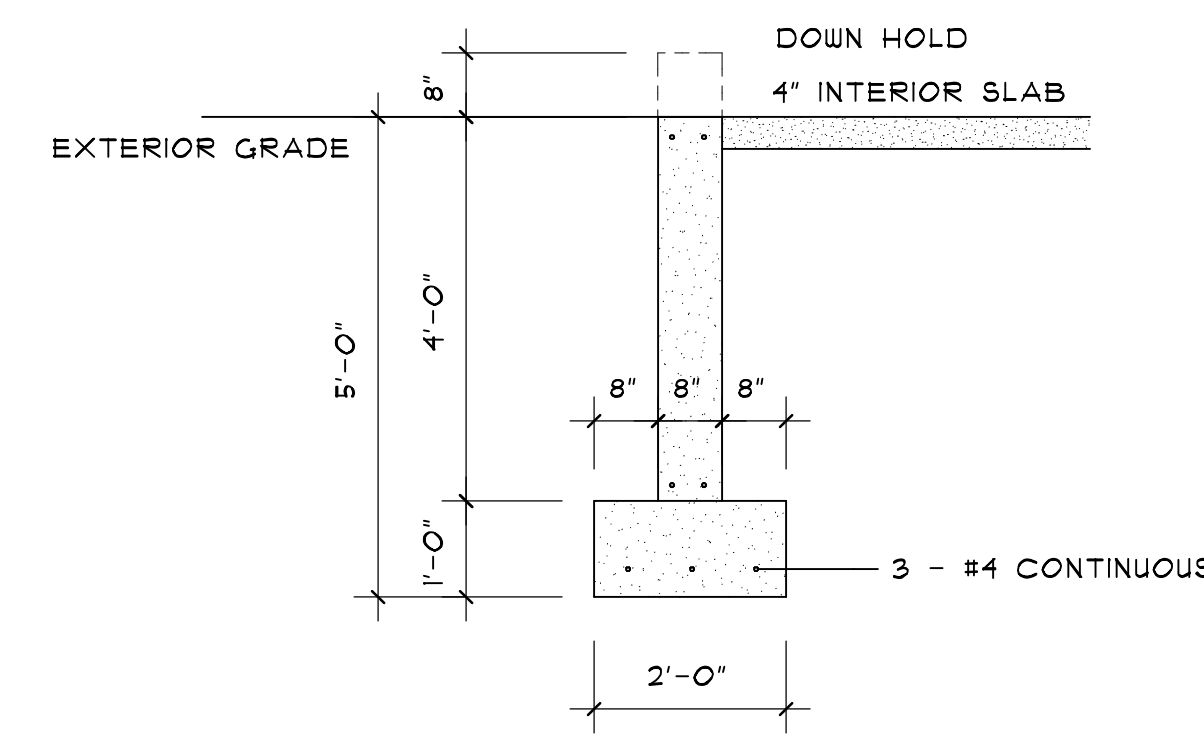
OLD TURNPIKE ROAD
NOTTINGHAM, NH
SUBDIVISION APPROVAL No. >5-acres
REFERENCE DEED RCRD BK 6171 PG: 2316
TAX MAP 4 LOT 1-1
SCALE: 1"=600'
Precision Cut Lumber, LLC
c/o Wade Demanche
OWNER: 21 Fidler Terrace
Lowell, Ma. 01850

APPLICANT: LANDRY SURVEYING, LLC
248 MILL POND ROAD-NOTTINGHAM, NH
DATE: December 2020 (603) 679-1387
SEE APPROVAL SLIP FOR ANY CONDITIONS OR REVISIONS.

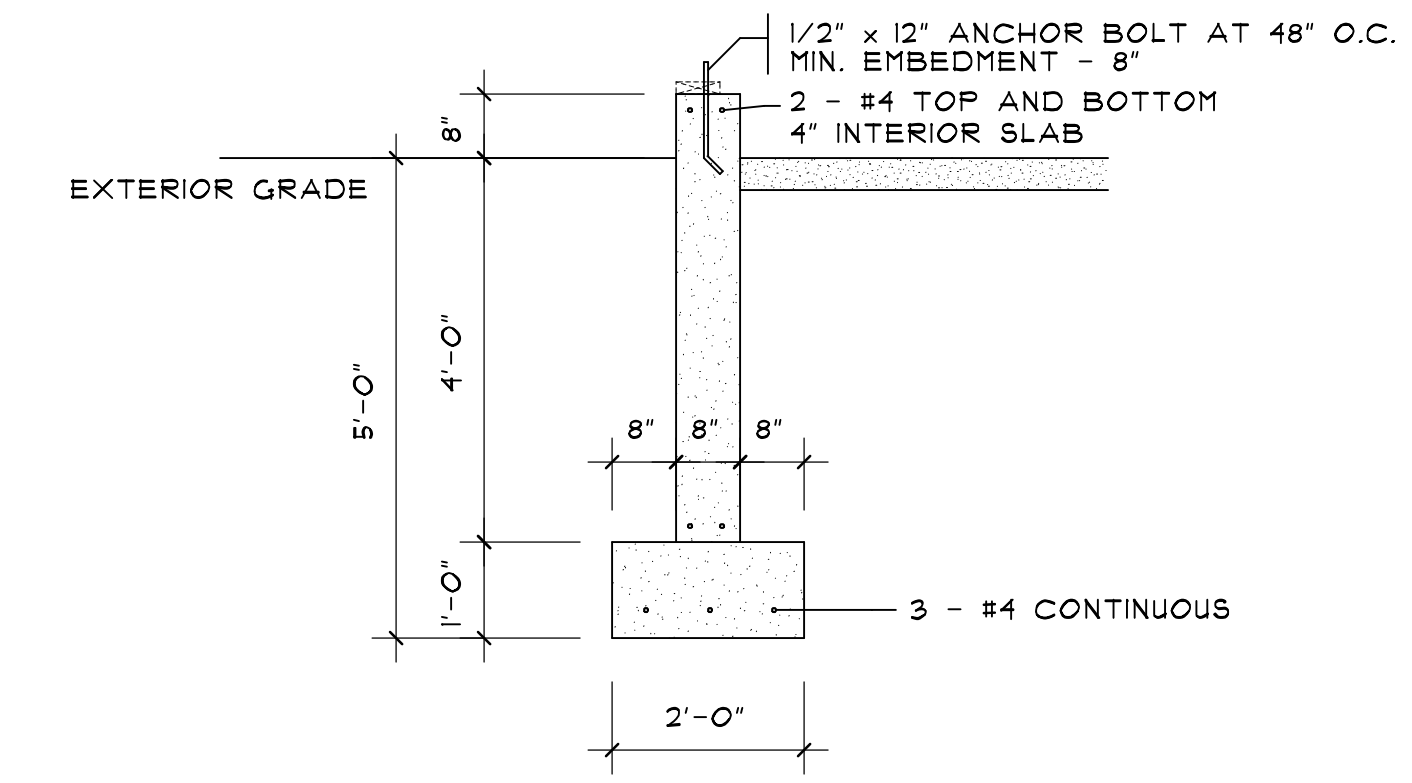
REVIEWED AND APPROVED
IN ACCORDANCE WITH THE
REQUIREMENTS OF THE
NH DEPT OF ENVIRONMENTAL SERVICES
WATER DIVISION
Date: 12/11/2020
#cCA2020121118



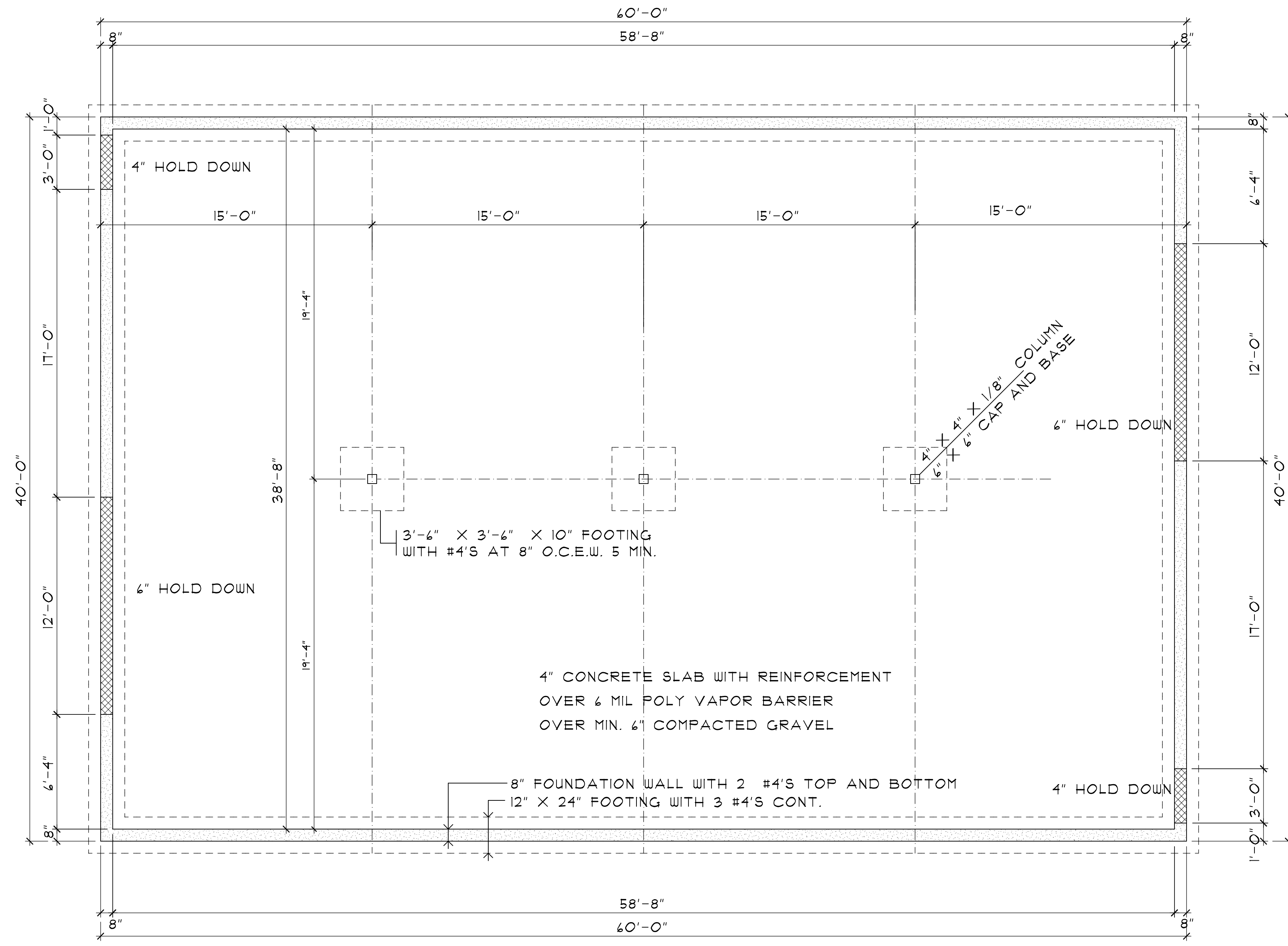
SECOND FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"



FOUNDATION SECTION
SCALE: 1/2" = 1'-0"



FOUNDATION SECTION
SCALE: 1/2" = 1'-0"



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION OF REVISION	DATE

PRECISION CUT LUMBER
TAX MAP 4, LOT 1-1
NOTTINGHAM, NEW HAMPSHIRE

Gleason Architects
P.O. BOX 596
STRATHAM, NEW HAMPSHIRE 03885
603 772-7370

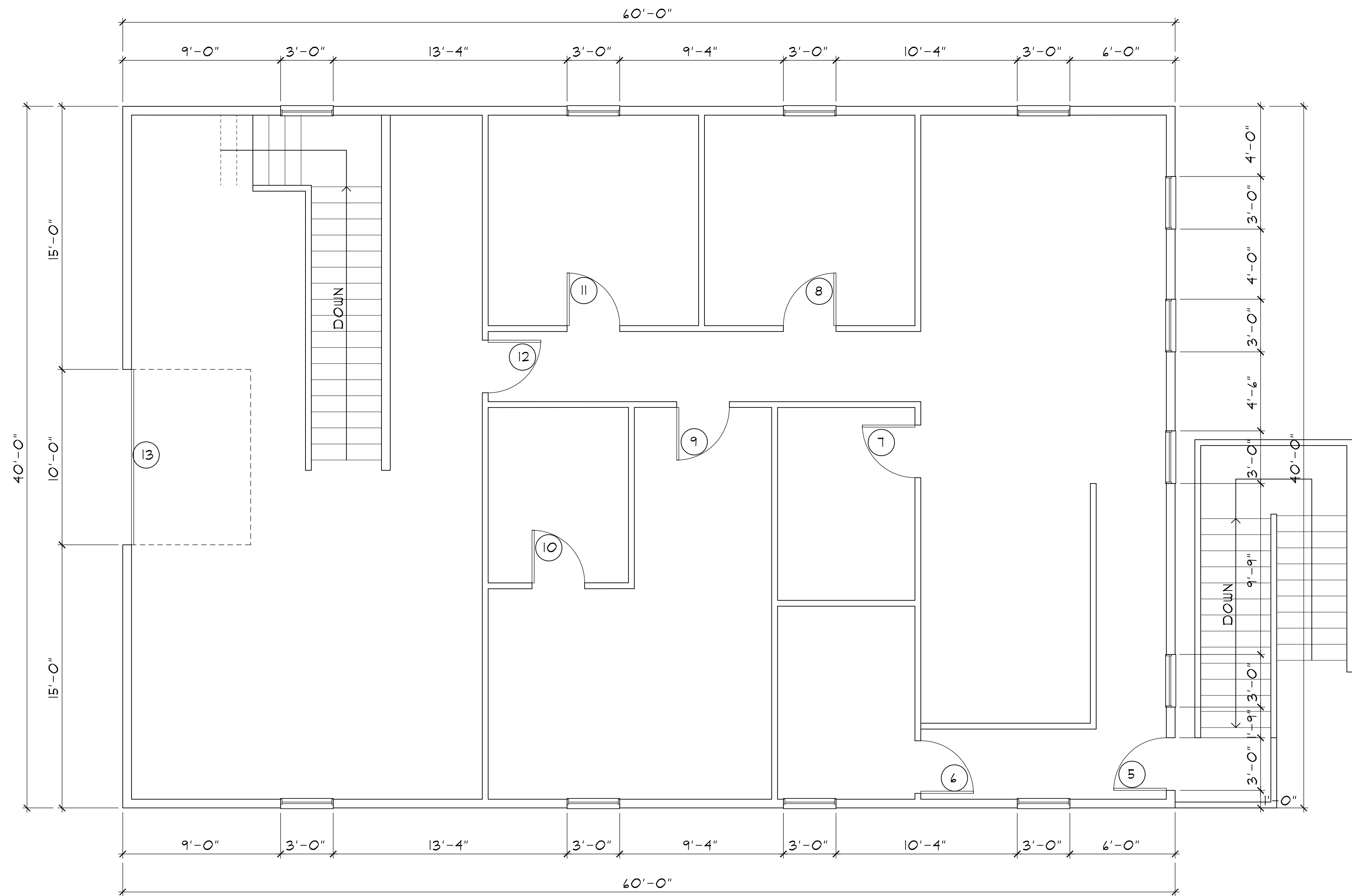
ARCHITECT

ENGINEER
DATE: 11/11/20
PROJECT NO. 202055
SHEET NO.

A-1
OF SHEETS

DOOR SCHEDULE

MARK	DOOR WIDTH	DOOR HEIGHT	REMARKS
FIRST FLOOR			
1.	3'-0"	7'-0"	EXTERIOR ENTRY DOOR
2. PR.	6'-0"	9'-0"	CUSTOM BARN DOOR
3. PR.	6'-0"	9'-0"	CUSTOM BARN DOOR
4.	3'-0"	6'-8"	EXTERIOR ENTRY DOOR
SECOND FLOOR			
5.	3'-0"	7'-0"	EXTERIOR ENTRY DOOR
6.	3'-0"	6'-8"	SCWD DOOR WD FRAME
7.	3'-0"	6'-8"	SCWD DOOR WD FRAME
8.	3'-0"	6'-8"	SCWD DOOR WD FRAME
9.	3'-0"	6'-8"	SCWD DOOR WD FRAME
10.	3'-0"	6'-8"	SCWD DOOR WD FRAME
11.	3'-0"	6'-8"	SCWD DOOR WD FRAME
12.	3'-0"	6'-8"	SCWD DOOR WD FRAME
13. PR.	4'-0"	8'-0"	CUSTOM BARN DOOR



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION OF REVISION	DATE

PRECISION CUT LUMBER
TAX MAP 4, LOT 1-1
NOTTINGHAM, NEW HAMPSHIRE

Gleason Architects
P.O. BOX 596
STRATHAM, NEW HAMPSHIRE 03885
603 772-7370

ARCHITECT

ENGINEER
DATE: 11/11/20
PROJECT NO. 202055
SHEET NO.

A-3
OF SHEETS

PRECISION CUT LUMBER
TAX MAP 4, LOT 1-1
NOTTINGHAM, NEW HAMPSHIRE

Gleason Architects
P.O. BOX 596
STRATHAM, NH 03885

603 772-7370

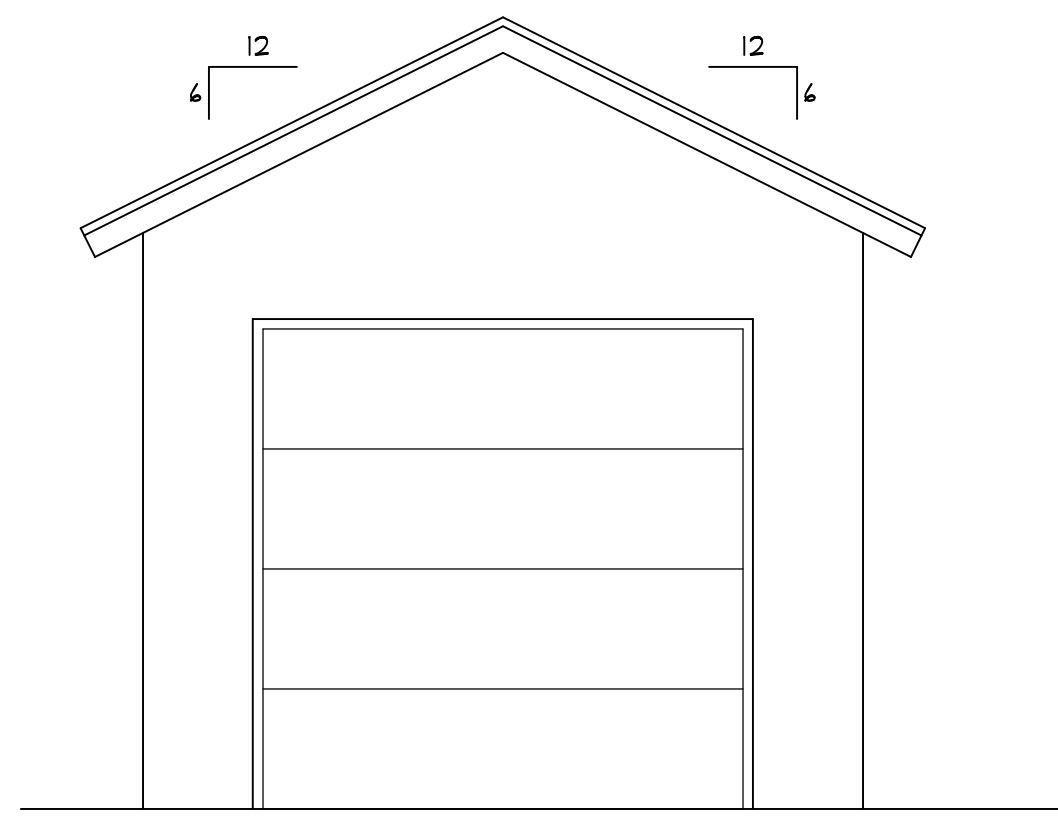
INDEX TO DRAWINGS

ARCHITECTURAL

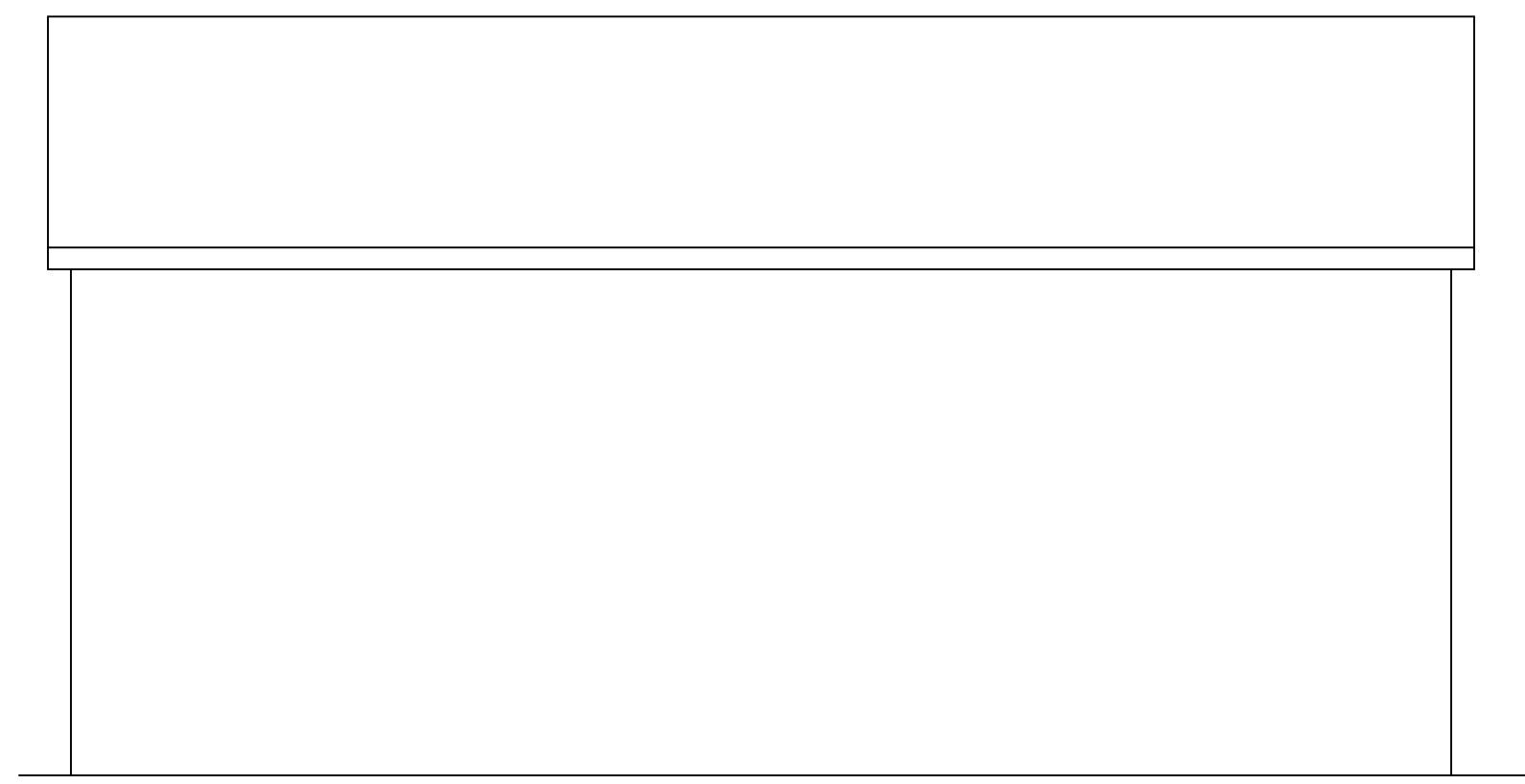
A1 - FOUNDATION PLAN
A2 - FIRST FLOOR PLAN
A3 - SECOND FLOOR PLAN
A4 - ELEVATIONS, SECTION, FRAMING PLANS

GENERAL NOTES

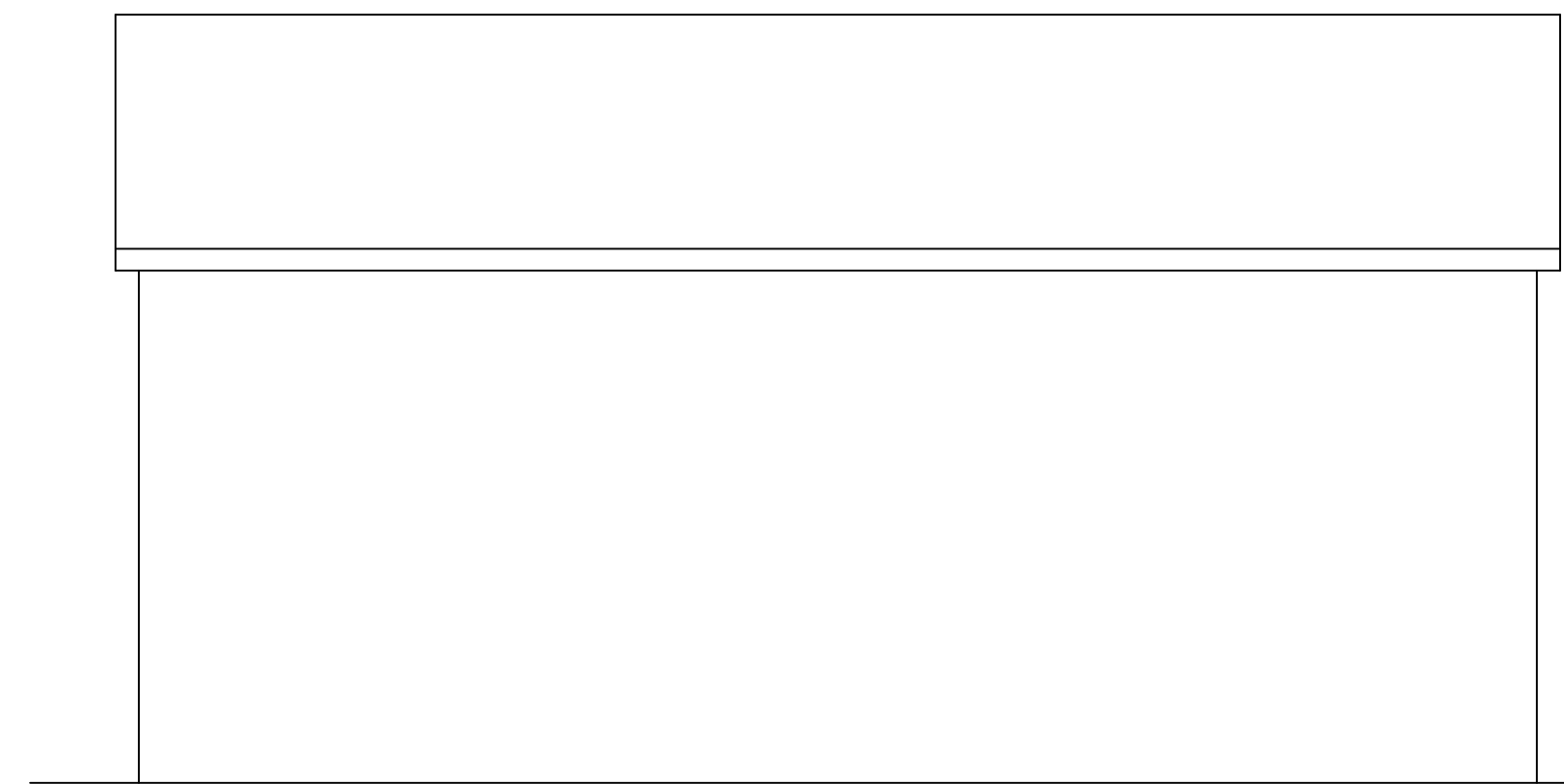
1. All work must meet state, local and other applicable codes.
2. Contractor(s) must visit the job site prior to submitting a bid.
3. It is assumed the soil bearing capacity is 2000 psf or better.
4. Footings are to be placed on undisturbed soil, a minimum of one (1) foot below the frost line.
5. Provide 2" rigid insulation around the foundation perimeter to 4' below grade.
6. Concrete walls below the finished grade are to be damp proofed with tar or equal material.
7. All wood on concrete is to be pressure treated lumber with sill seal and insulation.
8. Poured in place concrete is to be 3000 psi or better.
9. Concrete slabs are to have 6/6 10x10 w.w.f., 6 mil poly vapor barrier over 6" of crush stone or gravel.
10. Use anchor bolts at 4'-0" on center on foundation walls.
11. Use bridging or solid blocking between floor joist.
12. Exterior walls are to be 2 x 6 wood studs at 16" on center with lateral bracing, 1/2" gypsum board interior 1/2" sheathing exterior and "building wrap". The walls will have full batt insulation or equal.
13. Interior walls are to be 2 x 4 wood studs at 16" on center with 1/2" gypsum board each side.
14. Stairs: Treads, 11" (+/-); Risers, 7" (+/-) per local code.
15. All material used in the construction of this building will be new. No used or reconditioned material is permitted.
16. All interior finishes are to be determined by the contract with the owner.
17. Notify the architect immediately if conditions are different than indicated on the plans.
18. Any changes to these plans must be reviewed and approved by the owner(s) and the architect.
19. These drawings are prepared for the owner(s) to meet local and state codes. Any deficiencies must be noted and architect contacted to review those deficiencies.



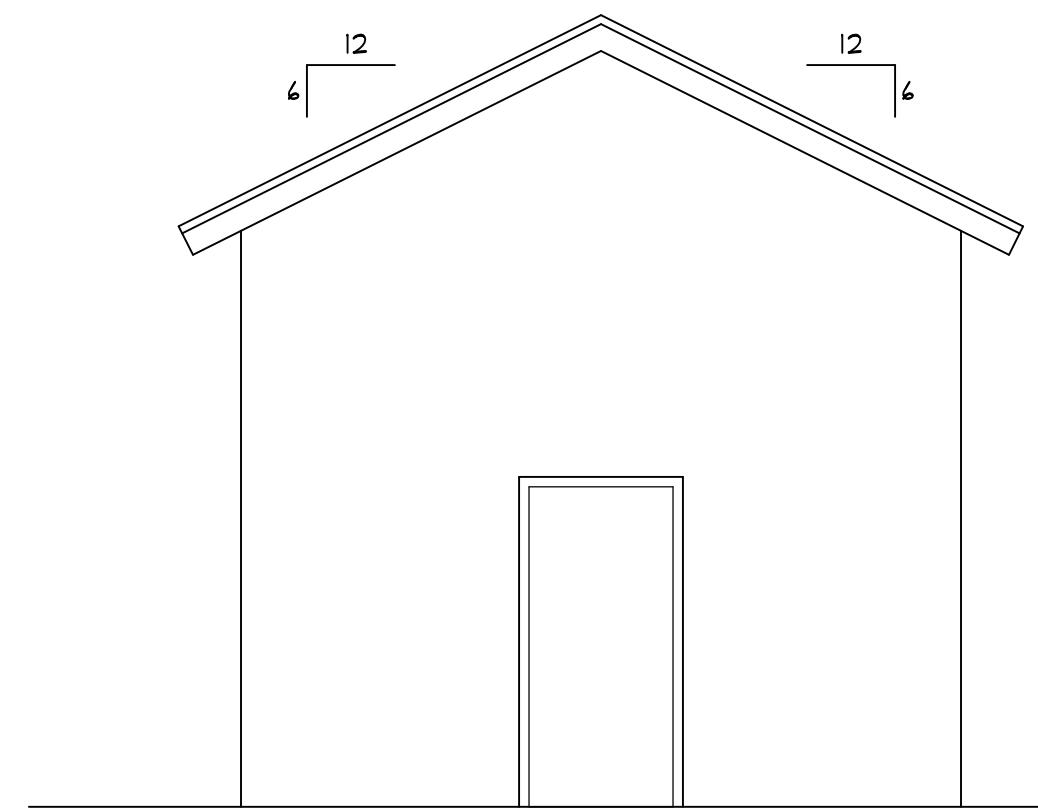
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



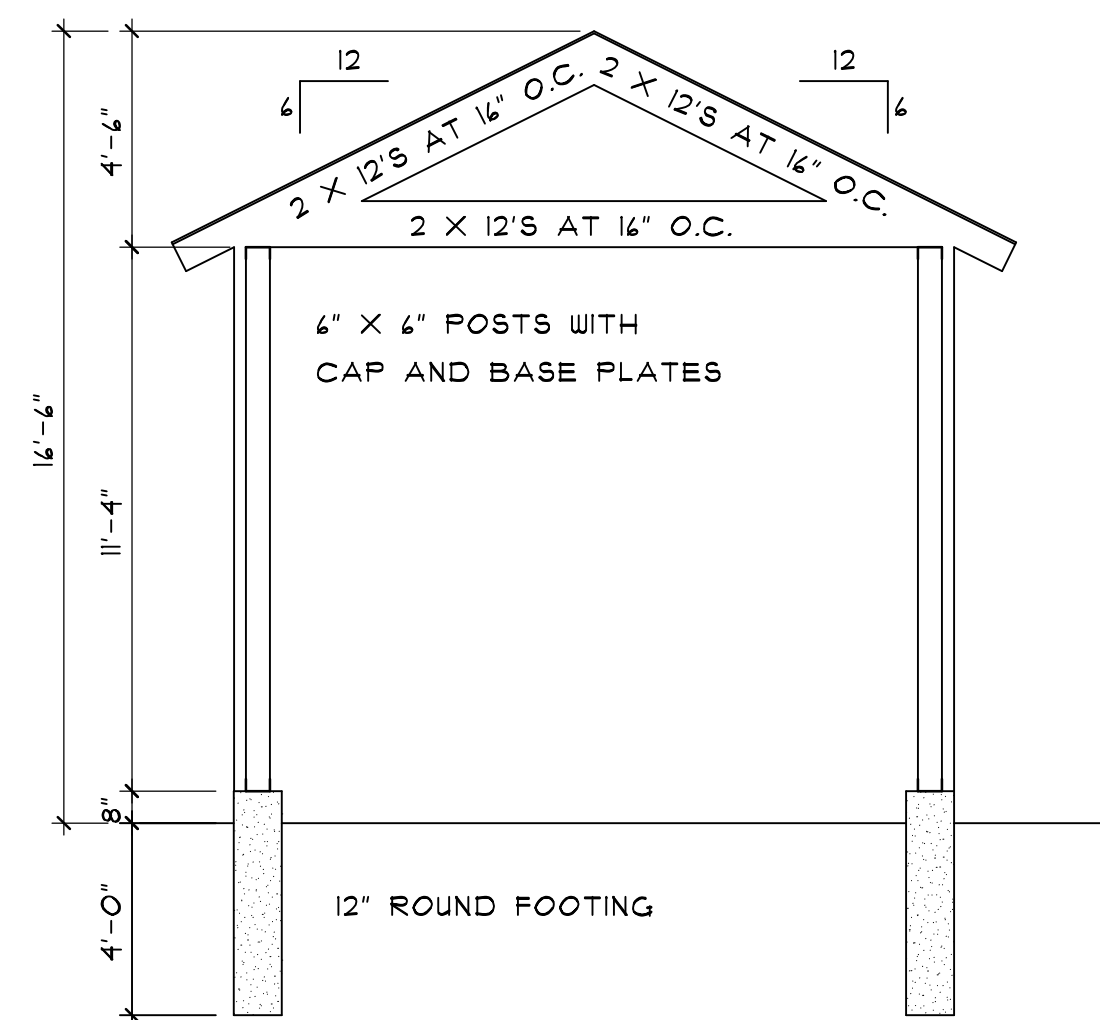
LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



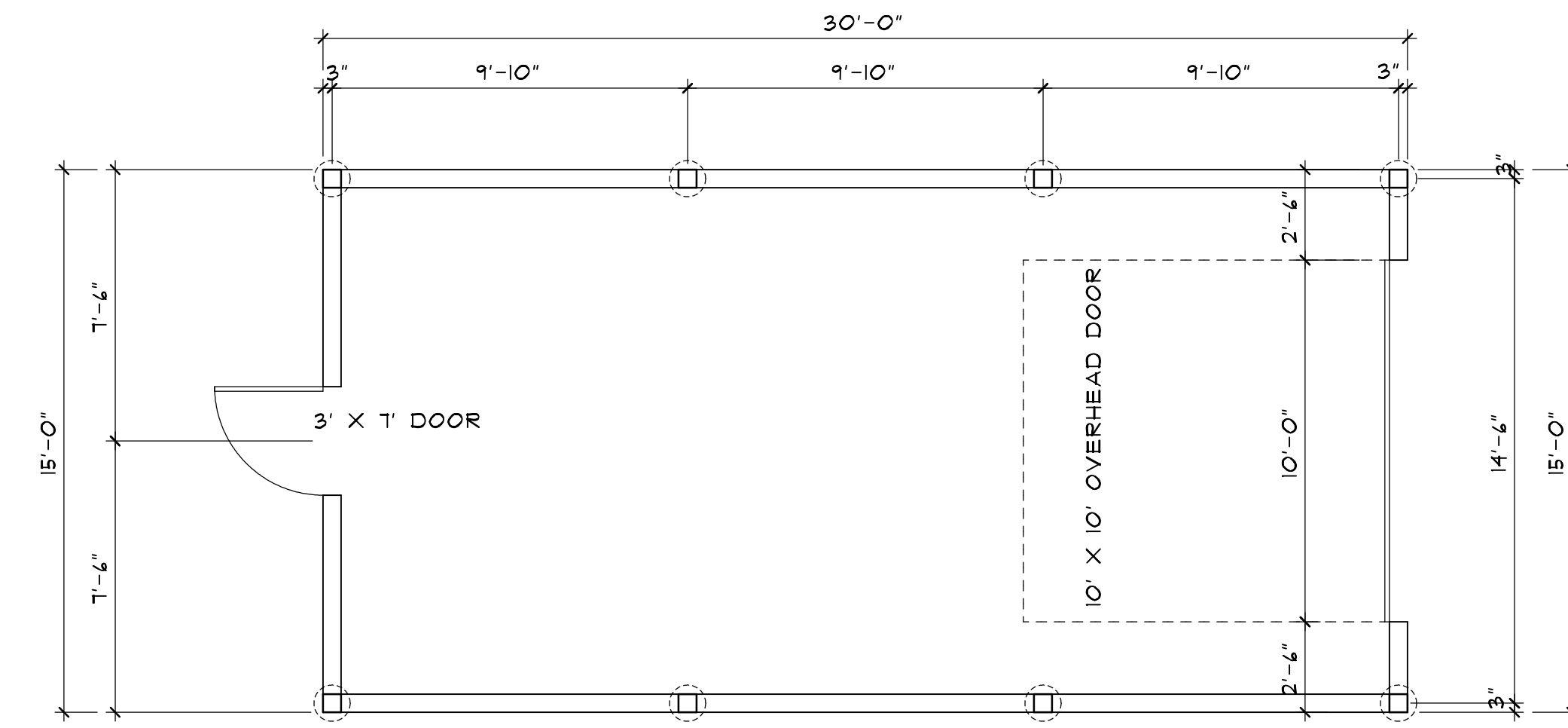
RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



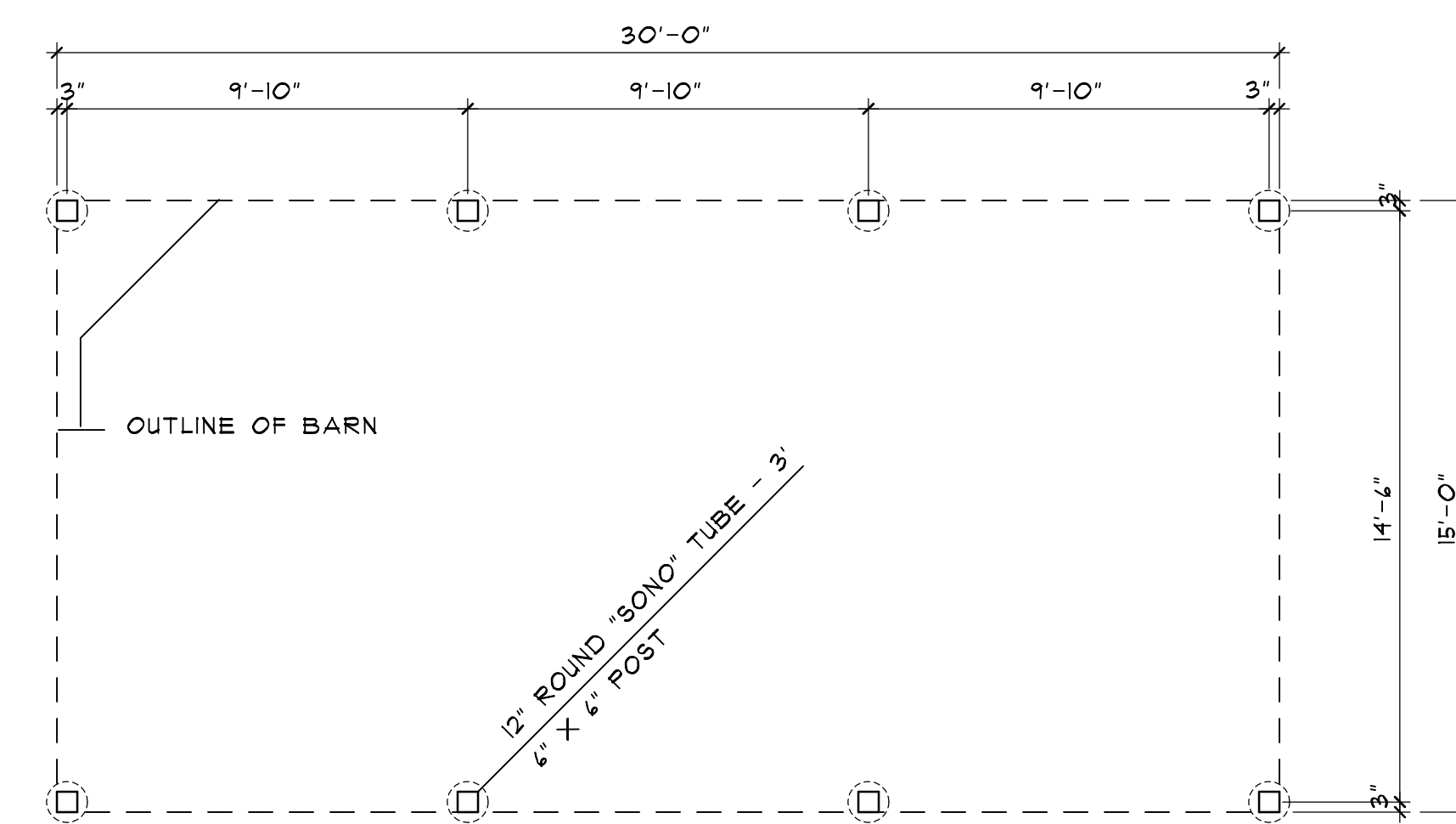
REAR ELEVATION
SCALE: 1/4" = 1'-0"



SECTION
SCALE: 1/4" = 1'-0"



FLOOR PLAN
SCALE: 1/4" = 1'-0"



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION OF REVISION	DATE

PRECISION CUT LUMBER
TAX MAP 4, LOT 1-1
NOTTINGHAM, NEW HAMPSHIRE

Gleason Architects
P.O. BOX 596
STRATHAM, NEW HAMPSHIRE 03885
603 772-7370

ARCHITECT

ENGINEER
DATE: 11/11/20
PROJECT NO. 202055

SHEET NO.

A-5
OF SHEETS