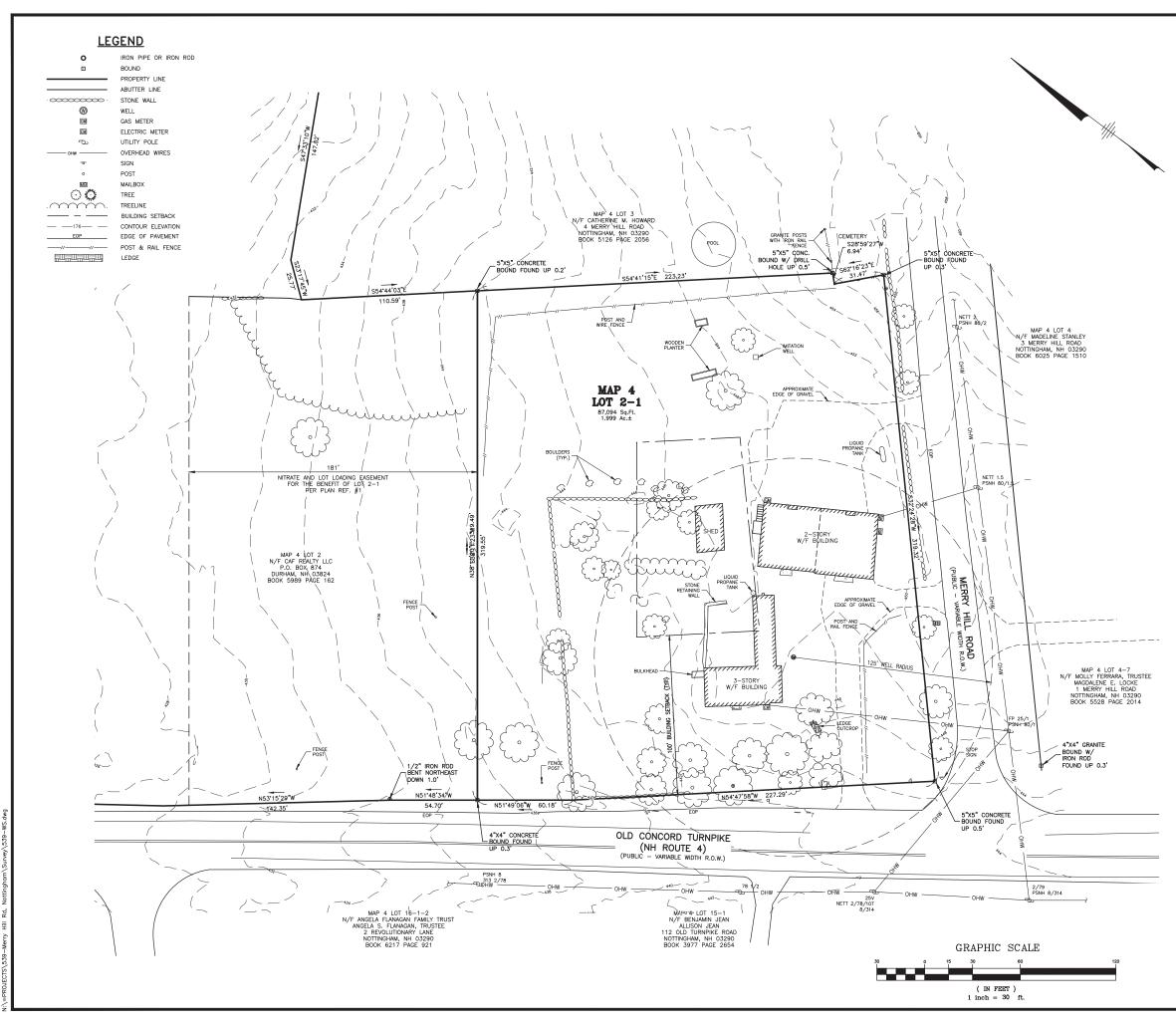
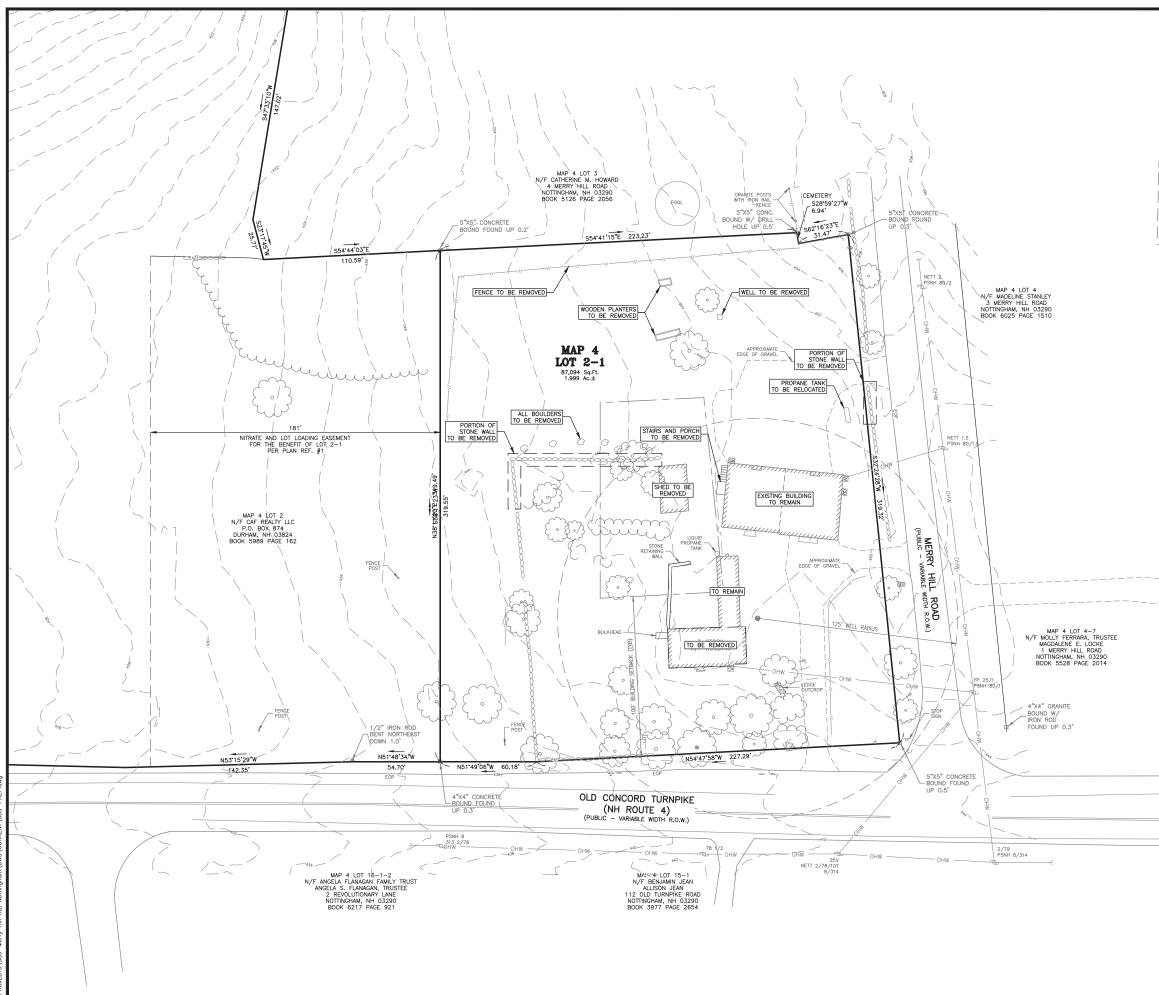
THE BARN AT MERRY HILL 2 MERRY HILL ROAD NOTTINGHAM, NEW HAMPSHIRE



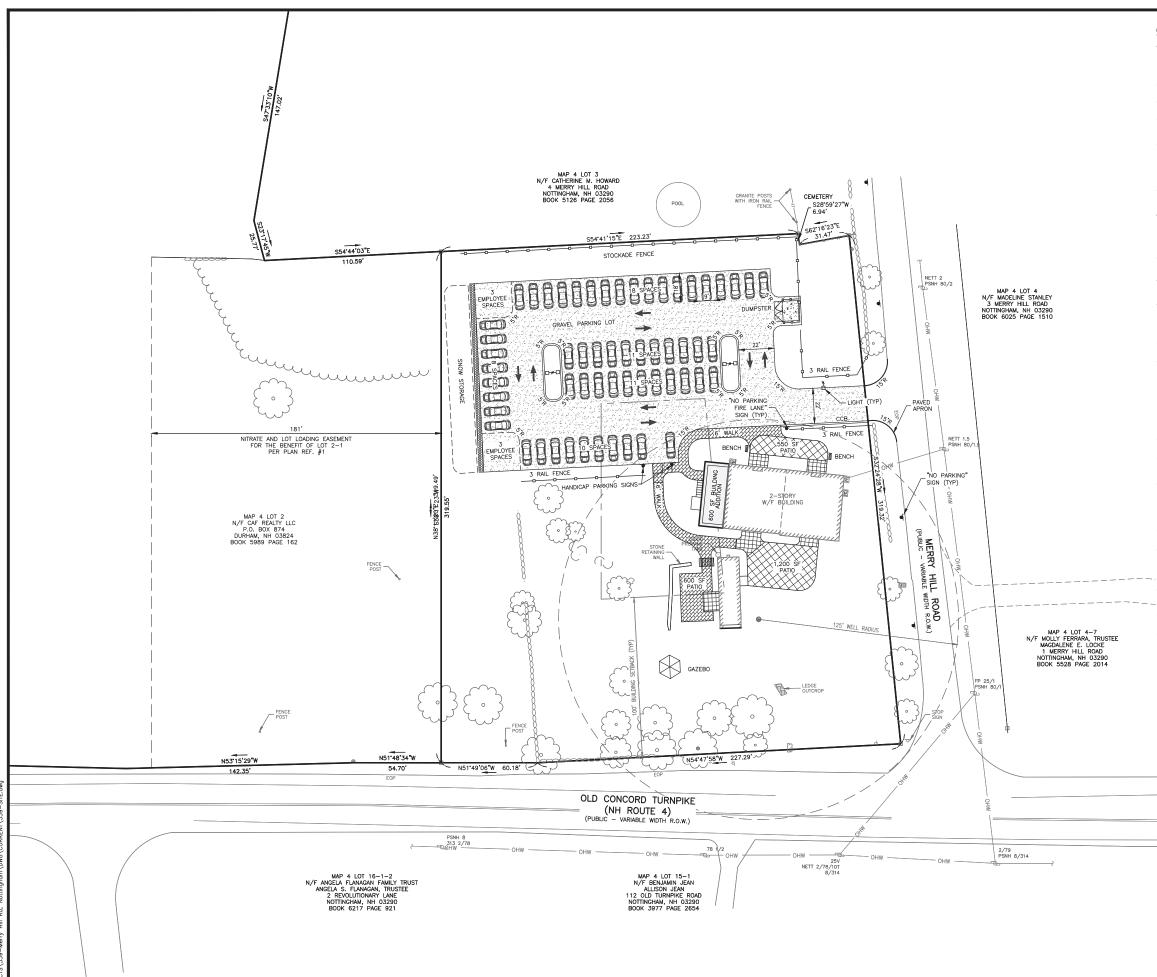
Custom Welding	The Dubay Group, Inc. 136 Harvey Road Bidg B101 Londonderry, NH 03053 603-458-6462 Engineers Planners Surveyors TheDubayGroup.com
T INDEX TITLE SHEET EXISTING CONDITIONS PLAN PREPARATION PLAN SITE LAYOUT PLAN GRADING, DRAINAGE, & UTILITY PLAN EROSION CONTROL PLAN LANDSCAPE PLAN & DETAILS LIGHTING PLAN	MacCurre No. 13325 Water Hard
SITE DETAILS	REVISIONS: REV. DATE: COMMENT: BY: 1 7/6/22 TOWN COMMENTS SJK
	DRAWN BY: SJK CHECKED BY: DGM DATE: MAY 16, 2022 SCALE: NTS FILE: 539-COVER DEED REF: BK 6364 PAGE 280 PROJECT: THE BARN AT
	MERRY HILL 2 MERRY HILL ROAD NOTTINGHAM, NH 03290 FOR KUNG FOOD, LLC PO BOX 72 CHESTER, NH 03036
	SHEET TITLE: TITLE SHEET PROJECT #539 SHEET 1 of 11



// ``	
Curson Middline	The Dubay Group, Inc. 136 Harvey Road Bidg B101 Londonderry, NH 03053 603-458-6462 Engineers Planners Surveyors TheDubayGroup.com
(NOT TO SCALE)	
NOTES:	
 THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING SITE CONDITIONS OF MAP 4 LOT 2-1 BASED ON A SURVEY PERFORMED BY THIS OFFICE BETWEEN FEBRUARY 15 AND FEBRUARY 16, 2022. 	
BETWEEN FEBRUARY 15 AND FEBRUARY 16, 2022. 2. THE BOUNDARY INFORMATION SHOWN HEREON IS BASED ON A SURVEY PERFORMED BY THIS OFFICE BETWEEN FEBRUARY 15 AND FEBRUARY 16, 2022 AND PLAN REFERENCES LISTED HEREON.	
 THE HORIZONTAL DATUM IS BASED NAD83 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON FEBRUARY 16, 2022. 	
 THE VERTICAL DATUM IS BASED NAVD88 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON FEBRUARY 16, 2022. 	
 UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON RECORD INFORMATION AND ABOVE GROUND FEATURES LOCATED BY THIS OFFICE. SAID UNDERGROUND UTILITIES ARE NOT WARRANTED TO BE EXACT OR INCLUSIVE OF ALL EXISTING UTILITIES. 	
 MAP 4 LOT 2-1 IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP 33015C0115E, WITH AN EFFECTIVE DATE OF MAY 17, 2005. 	
 MAP 4 LOT 2-1 IS ZONED COMMERCIAL/INDUSTRIAL PER THE TOWN OF NOTTINGHAM ZONING MAP; 	REVISIONS: REV: DATE: COMMENT: BY:
MIN LOT SIZE: 87,120 SF± (2.00	1 7/6/22 REVISED PER TOWN COMMENTS DGM
ACRES) MIN LOT FRONTAGE: 200 FT MIN FRONT YARD: 100 FT (COMMERCIAL)	
150 FT (INDUSTRIAL) MIN SIDE YARD: 100 FT MIN REAR YARD: 100 FT	
REFER TO THE TOWN OF NOTTINGHAM ZONING ORDINANCE FOR	
ADDITIONAL INFORMATION.	
REFERENCE PLANS:	
 PLAN ENTITLED "EASEMENT PLAN, TAX MAP 4 LOT 2, 2-1, DRAWING NO. E1" PREPARED BY JONES AND BEACH ENGINEERS, INC., DATED OCTOBER 3, 2017, LAST REVISED MARCH 21, 2019. 	
 ROCKINGHAM COUNTY REGISTRY OF DEEDS (R.C.R.D.) D-15611 	
3. R.C.R.D. D-16618	
4. R.C.R.D D-19032	DRAWN BY: NIG CHECKED BY: JAC DATE: MAY 16, 2022 SCALE: 1"=30' FILE: 539-WS DEED REF: BK 6364 PAGE 280
	PROJECT: THE BARN AT MERRY HILL 2 MERRY HILL ROAD NOTTINGHAM, NH 03290
	FOR FOOD, LLC
CERTIFICATION:	PO BOX 72 CHESTER, NH 03036
I CERTIFY THAT THIS SURVEY AND PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT THIS PLAN IS THE RESULT OF AN	
UNDER MY DIRECT SUPERVISION AND THAT THIS PLAN IS THE RESULT OF AN ACTUAL SURVEY PERFORMED ON THE OROUND IN FEBRUARY, 2022 AND HAS AN ERROR OF CLOSURE OF NOT MORE THAN ONE PART IN TEN THOUSAND.	SHEET TITLE:
	EXISTING CONDITIONS PLAN
JOEL A. CONNOLLY, LLS 997 DATE	PROJECT #539 SHEET 2 of 11



	The Dubay Group, Inc. 136 Harvey Road Bidg Bi01 Londonderry, NH 03053 603-458-6462 Engineers Planners Surveyors TheDubayGroup.com
	30 0 15 30
	1 INCH = 30 PEET
	REVISIONS: REV: DATE: COMMENT: BY: 1 7/6/22 TOWN COMMENTS DGM
	DRAWN BY: SJK CHECKED BY: DGM DATE: MAY 16, 2022 SCALE: 539–PREP DEED REF:BK 6364 PAGE 280
	PROJECT: THE BARN AT MERRY HILL 2 MERRY HILL ROAD NOTTINGHAM, NH 03290
	FOR
	KUNG FOOD, LLC PO BOX 72 CHESTER, NH 03036
811	
DIGSafe MA+ME +NH+RI +VT	SHEET TITLE: PREPARATION PLAN
	PROJECT #539 SHEET 3 of 11



GENERAL NOTES:

OWNER OF RECORD:

MAP 4 LOT 2-1 87,094 SF (1.99 AC) KUNG FOOD, LLC PO BOX 72 CHESTER, NH 03036

1. THE SUBJECT PARCEL IS ZONED COMMERCIAL/INDUSTRIAL

- THE PROPOSED DEVELOPMENT WILL BE SERVED BY ON-SITE WATER AND ON-SITE SEPTIC.
- ALL WORK TO BE DONE IN CONFORMANCE WITH THE TOWN OF NOTTINGHAM REGULATIONS. ALL PARKING, STRUCTURES, AND DRAINAGE TO MEET TOWN OF NOTTINGHAM SPECIFICATIONS.
- 4. ZONING REQUIREMENTS:

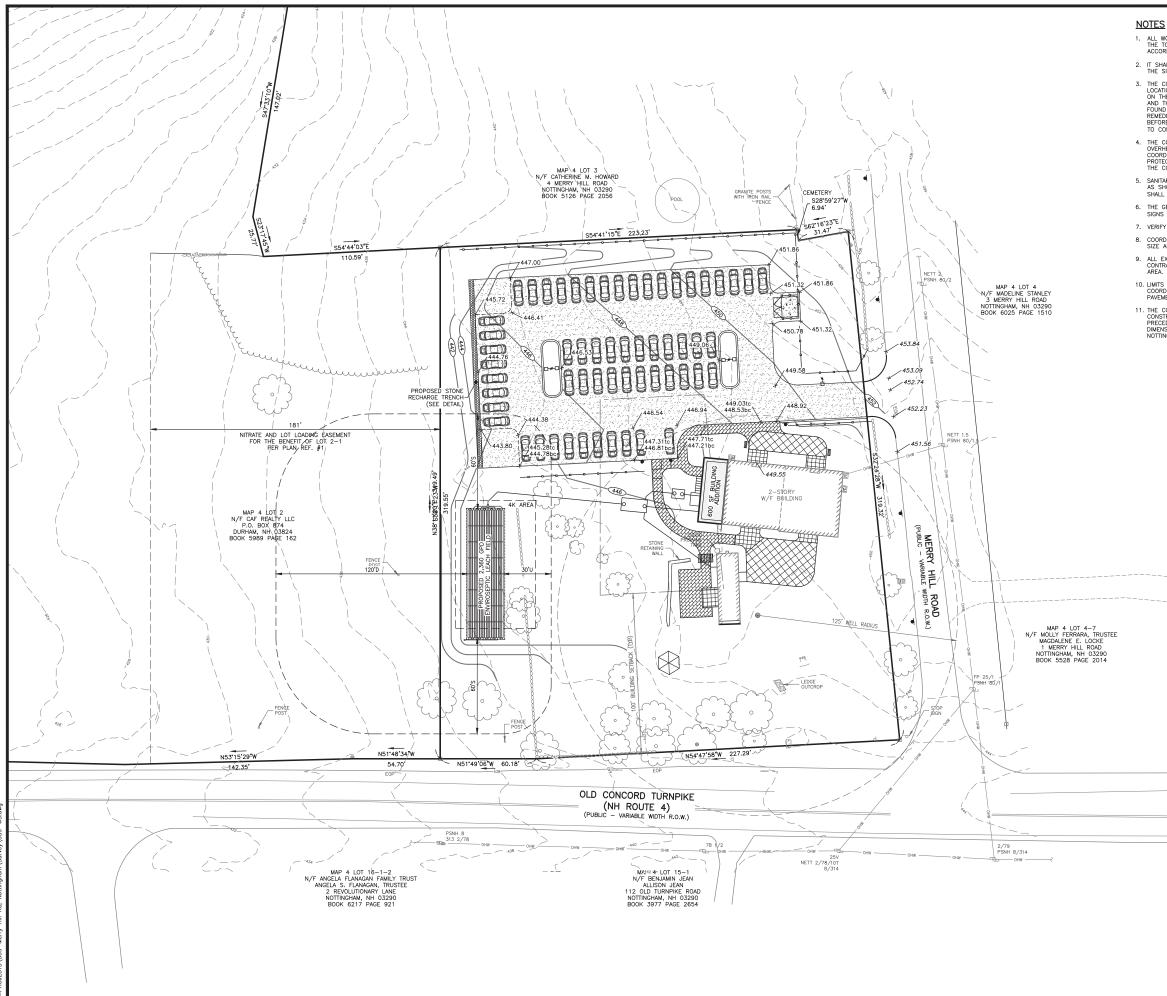
MINIMUM LOT FRONTAGE: 200FT MINIMUM FRONT YARD: 100FT MINIMUM SIDE YARD: 100FT MINIMUM REAR YARD: 100FT

- THE TOTAL AREA OF THE PARCEL TO BE DISTURBED BY SITE IMPROVEMENT ACTIVITIES IS LESS THAN 100 KSF, NOT NECESSITATING AN INHDES ALTERATION OF TERRAIN PERMIT.
- 6. SNOW AND ICE CONTROL SHALL BE PERFORMED BY A "GREEN SNO-PRO" SNOW AND ICE CONTROL SHALL BE PERFORMED BY A GREEN SNU-PRO GETHIED CONTRACTOR FOLOWING BEST MANAGENET PRACTICES FOR THE APPLICATION OF DE-ICING MATERNALS. IN THE EVENT ACCUMULATIONS OF WINTER SNOW VOLUMES EXCEED ON-SITE STORAGE CARACITIES, EXCESS VOLUMES OF SNOW SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT A LEGAL DISPOSAL SITE. SEE SNOW STORAGE AREAS ON THIS FILM.
- 7. THIS PLAN SET CONTAINS A TOTAL OF 11 SHEETS. THE FULL SET OF PROJECT PLANS IS ON FILE AT THE NOTTINGHAM PLANNING DEPT.
- SEE ARCHITECTURAL PLANS FOR DETAILS AND OTHER FEATURES AT THE BUILDINGS. CONTRACTOR TO PERFORM THIS WORK AS DIRECTED BY THE OWNER.
- 9. THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. THE DUBAY GROUP, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITES SHOWN. PRIOR TO ANY EXCAVATION ON SITE, THE CONTRACTOR SHALL CONTACT NEW HAMPSHIRE DIG-SAFE TO CONFIRM UTILITY LOCATIONS.
- 10. ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH THE TOWN OF NOTTINGHAM CONSTRUCTION STANDARDS AND DETAILS, LATEST EDITION
- INGELINGTIAM CONSTRUCTION STANDARDS AND DETAILS, LATEST OF UP CONSTRUCTION AND FOR CONSTRUCTIONS AT THE STREET EDITION.
 11. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE STREET HESE FLANS DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, ACENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK, THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE ON OBTINI THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY STAND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- 12. A MINIMUM DRIVE AISLE WIDTH OF 22 FEET IS TO BE MAINTAINED THROUGHOUT THE PROJECT.
- CONTRACTOR SHALL MAINTAIN AN EFFECTIVE MEANS OF DUST CONTROL DURING THE CONSTRUCTION PERIOD USING WATER TRUCKS AND SWEEPERS AS DEEMED NECESSARY BY THE TOWN INSPECTOR.
- 14. PARKING REQUIREMENTS:
- 1 SPACE/3 SEATS @ 150 SEATS = 50 SPACES 1 SPACES/2 EMPLOYEES @ 10 EMPLOYEES = 5 SPACES REQUIRED = 55 SPACES PROVIDED = 58 SPACES + 6 EMPLOYEE ONLY = 64 SPACES
- 15. ANY MISSING BOUNDARY MONUMENTATION SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR.
- 16. IF SOIL CONTAINING ANY LIVING OR VIABLE PORTION OF PLANTS ON THE NEW HAMPSHIRE PROHIBITED INVASIVE SPECIES LIST (ACR TABLE 3800) THE DEVELOPER WILL CONTACT THE NH COOPERATIVE EXTENSION SERVICE REGARDING PRECOMMENDATIONS ON THE REMOVAL AND DISPOSAL OF THE INVASIVE SPECIES.
- 17. PRIOR TO CONSTRUCTION, CONTACT DIG-SAFE CENTER. TOLL FREE AT 811. NEW HAMPSHIRE STATE LAW REQUIRES NOTIFICATION AT LEAST 3 BUSINESS DAYS BEFORE DIGGING OPERATIONS START.
- 18. PERMITS: NHDES SEPTIC APPROVAL: ____
- ACCESS BOXES ("KNOX") WITH NECESSARY FACILITY KEYS SHALL BE INSTALLED IN LOCATIONS APPROVED BY AHJ.



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			Engineers Planners		
	L	TheI	Surveyors DubayGroup.com		
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	$\left[\right]$		OF NEW HAMO	٦	
		PACK - STA	DOUGLAS G. MacGUIRE No. 13325		
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	REV: 1	DATE: 7/6/22	COMMENT: REVISED PER TOWN COMMENTS	BY: DGM	
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	DA SC	HECKED ATE: CALE: _E:	BY: MAY 16, 2 1' 539-	DGM 2022 '=30' -SITE	
	DE	ED REF	:BK 6364 PAGE 280		
	PROJECT:				
	THE BARN AT MERRY HILL				
_	2 MERRY HILL ROAD NOTTINGHAM, NH 03290				
	-		FOR	-	
	KUNG FOOD, LLC PO BOX 72				
	CHESTER, NH 03036				
	SF	IEET TIT	LE:	\dashv	
			SITE PLAN		
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PROJECT #539 SHEET 4 of 11



ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF NOTINGHAM, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORPANCE WITH THE PLANS AND SPECIFICATIONS.

2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEIRSELF WITH THE SITE AND ALL EXISTING CONDITIONS SURROUNDING IT AND THEREON.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER AND THE TOWN OF NOTTINGHAM SHALL BE NOTIFIED IN WRITING OF ANY UTILITES FOUND INTEFFERING WITH THE PROPEDE CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER AND THE TOWN OF NOTTINCHAM BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.

4. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SALD UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.

 SANITARY SEWER SHALL BE CONSTRUCTED TO THE STANDARDS AND SPECIFICATIONS AS SHOWN ON THESE PLANS. ALL SEWER MAINS AND FITTINGS SHALL BE PVC AND SHALL CONFORM TO ASTM F 679 (SDR 35 MINIMUM).

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONDUIT AND WIRING TO ALL SIGNS AND LIGHTS. CONDUIT TO BE A MINIMUM OF 24" BELOW FINISH GRADE.

7. VERIFY UTILITY CONNECTIONS TO BUILDING WITH ARCHITECTURAL DRAWINGS.

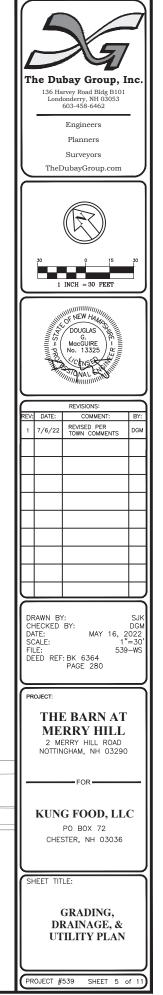
COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR THE WATER SERVICE PIPE SIZE AND TYPE.

ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.

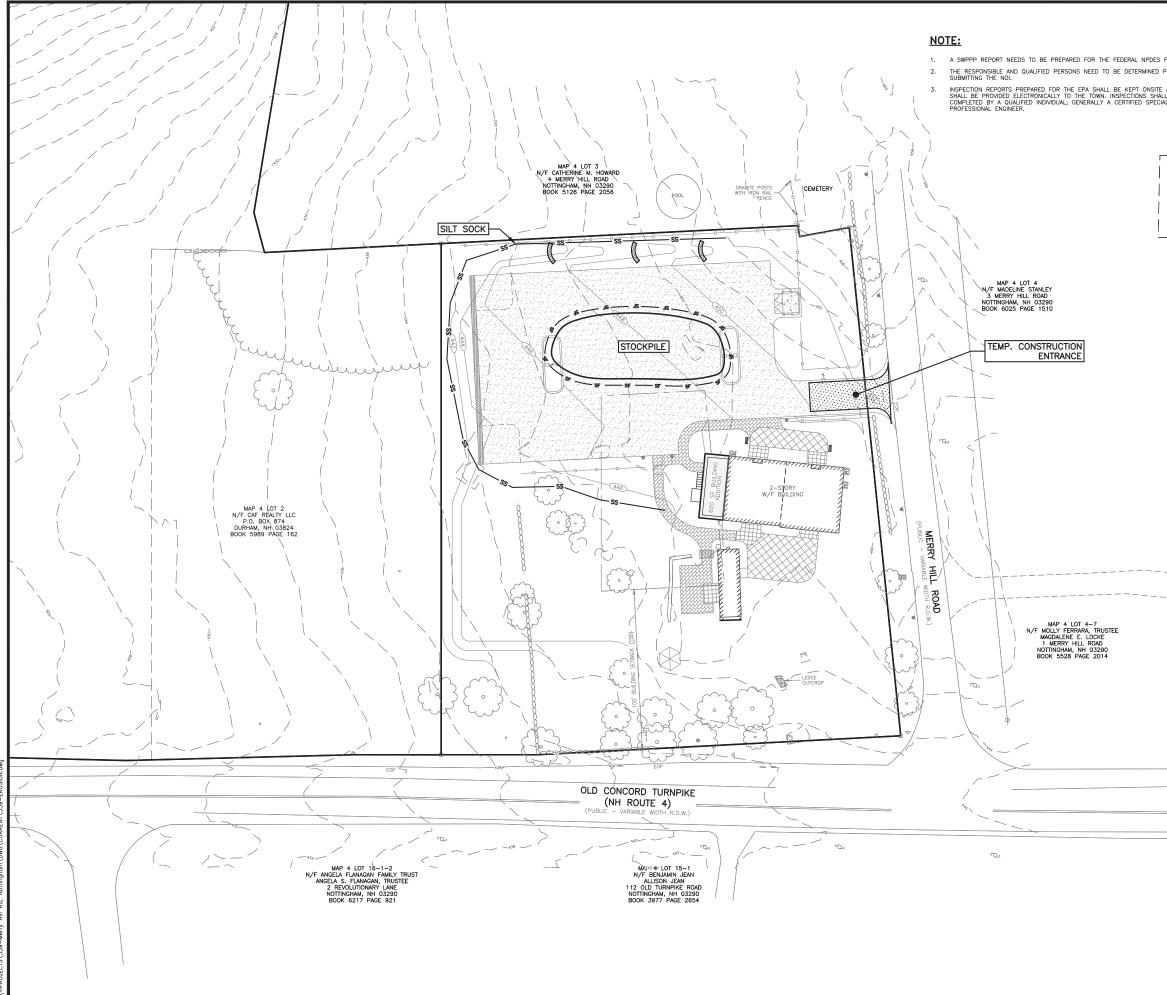
LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, AND ALIGNMENTS.

11. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR THE CONDITIONS AT THE SITE. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ENGINEER AND THE TOWN OF NOTTINGHAM.

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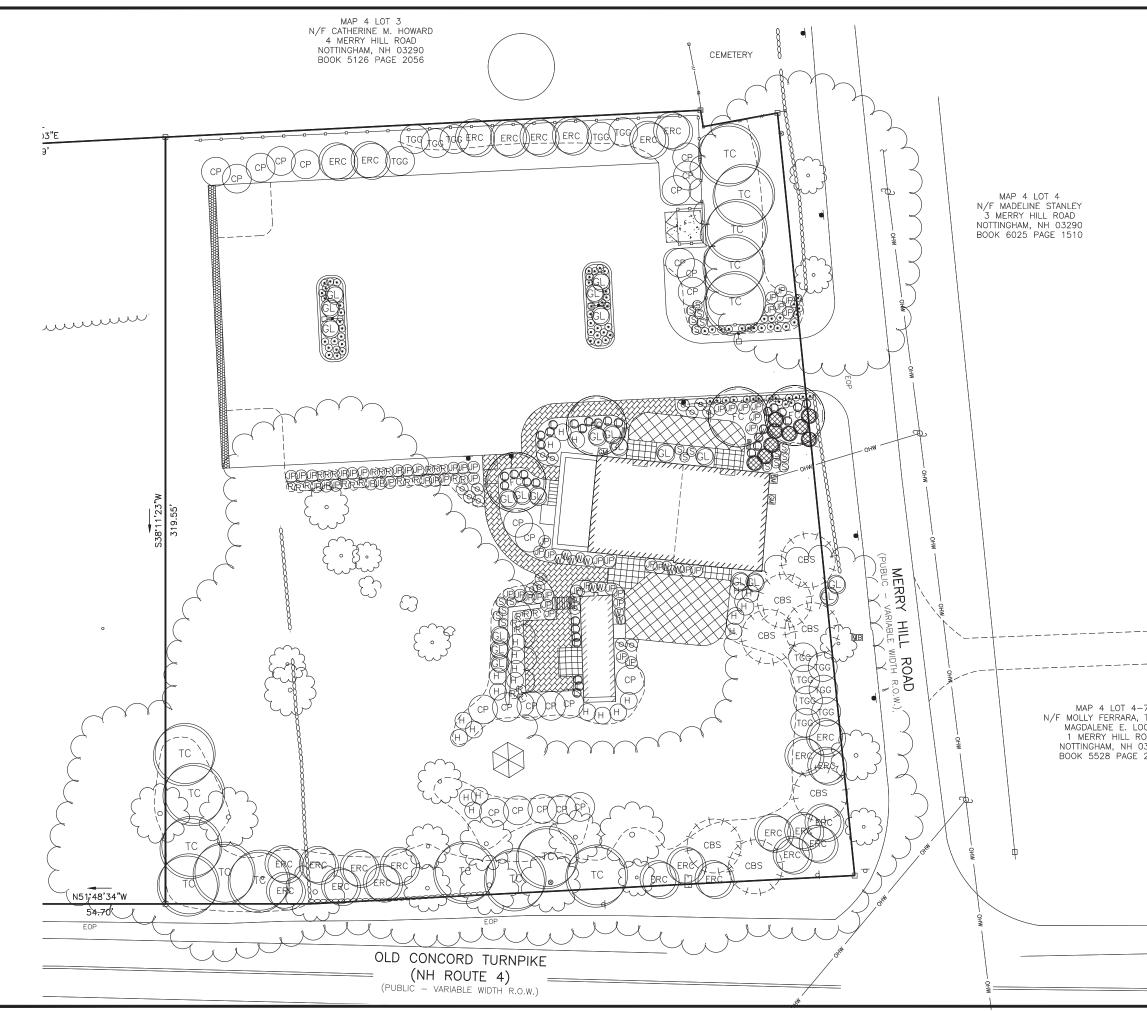




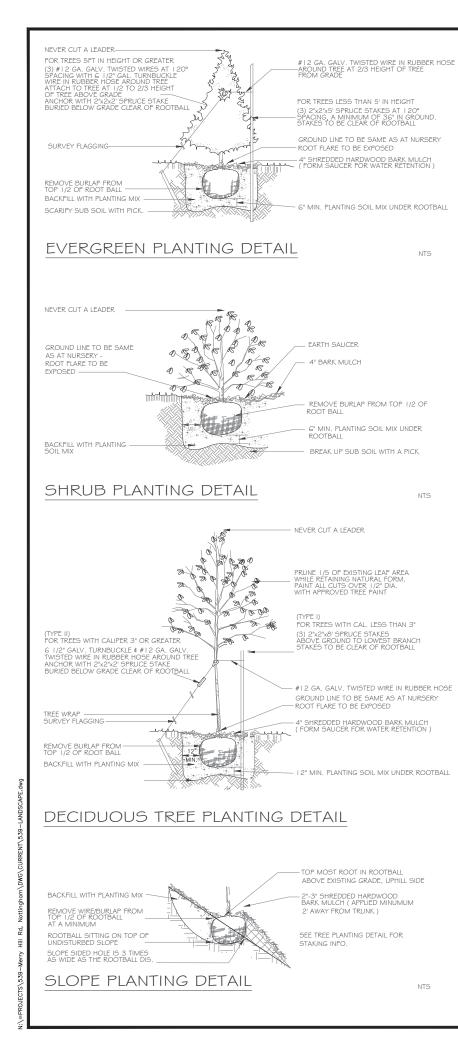
LEGEND: STABILIZED TRACKING PAD D PRIOR TO TEE AND ALSO -SS-SS-SILT SOXX BARRIER ALL BE SOIL STOCK PILE AREA	The Dubay Group, Inc. 136 Harvey Road Bidg B101 Londondery, NH 03053 603-458-6462 Engineers Planners Surveyors TheDubayGroup.com
	1 INCH = 30 FEET
	REVISIONS: REV: DATE: COMMENT: BY: 1 7/6/22 REVISED PER TOWN COMMENTS DGM
	DRAWN BY: SJK CHECKED BY: DGM DATE: MAY 16, 2022 SCALE: 1"=30' FILE: 539-EROSION DEED REF: BK 6364 PAGE 280 PROJECT: THE BARN AT MERRY HILL 2 MERRY HILL 2 MERRY HILL ROAD NOTTINGHAM, NH 03290
	FOR KUNG FOOD, LLC PO BOX 72 CHESTER, NH 03036
Bil DigSafe	SHEET TITLE: EROSION CONTROL PLAN

MA • ME • NH • RI • VT

PROJECT #539 SHEET 6 of 11



		The Dubay Group, Inc. 136 Harvey Road Bidg B101 136 Harvey Road Bidg B101 136 Harvey Road Bidg B101 1003458-6462 Engineers Planners Surveyors TheDubayGroup.com 2000 2000 1 INCH = 20 FEET
		REVISIONS: REV: DATE: COMMENT: BY:
-7 TRUSTE OCKE 04D 03290 2014		PROJECT: THE BARN AT MERRY HILL 2 MERRY HILL ROAD NOTTINGHAM, NH 03290
	THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. WE MAKE NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. 72 HOURS PRIOR TO ANY EXCAVATION ON SITE, THE CONTRACTOR SHALL CONTACT DIG-SAFE AT 1-888-DIG-SAFE.	FOR KUNG FOOD, LLC PO BOX 72 CHESTER, NH 03036
		SHEET TITLE: LANDSCAPE PLAN
		PROJECT #539 SHEET 7 of 11



LANDSCAPE NOTES:

I. PRIOR TO CONSTRUCTION THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL EXISTING AND NEWLY INSTALLED UTILITIES AND SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS.

2. LANDSCAPING SHOWN ON THIS PLAN HAS BEEN DESIGNED TO COMPLY WITH THE TOWN OF NOTTINGHAM LANDSCAPE REGULATIONS.

3. WHEREVER POSSIBLE EXISTING TREES SHALL BE PRESERVED AND PROTECTED DURING CONSTRUCTION.

4. THE PROPOSED DECIDUOUS TREES SHALL BE A MIN. 3" CALIPER AND EVERGREEN TREES A MINIMUM OF 6' HIGH AT TIME OF PLANTING.

5. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED WITH A MINIMUM OF G" SUITABLE LOAM, EXCEPT UNDER THE MULCH BEDS. SLOPES GREATER THAN 3:1 SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET.

G. PLANTS SHALL NOT BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED WITHIN THE IMMEDIATE AREA OF THE PLANTING.

7. ALL TREES SHALL BE BALLED AND BURLAP UNLESS OTHERWISE NOTED.

8. ANY PROPOSED PLANT MATERIAL SUBSTITUTIONS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE. THE TOWN OF NOTTINGHAM STAFF AND THE LANDSCAPE ARCHITECT

9. WHERE APPLICABLE THE CONTRACTOR SHALL HAVE ALL FALL TRANSPLANTING HAZARD PLANTS DUG IN THE SPRING.THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.

10. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY: HAVE NORMAL GROWTH HABITS: WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.

II. CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL

1.2. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE YEAR FROM THE DATE OF ACCEPTANCE FOR TREES AND SHRUBS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.

I.3. INSOFAR AS IT IS PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD WILL BE REJECTED

14. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI 260 (REV. 1996) "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. INC.

15. ALL PLANTS SHALL BE PLANTED IN AMENDED TOP SOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS. LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS

I G. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.

1.7 PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. ALL PLANT MATERIAL SHALL BE SPRAYED WITH 'WILT-PRUF' OR EQUAL AS PER MANUFACTURER'S INSTRUCTIONS.

18. NO PLANT, EXCEPT GROUND COVERS/PERENNIALS, SHALL BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SIDEWALKS.

I 9. SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT, A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. ROOT FLARE SHALL BE EXPOSED. LOCATE PLANT IN THE CENTER OF THE PIT.

20. ALL PLANTING BEDS SHALL BE MULCHED WITH 4" LAYER OF DOUBLE SHREDDED HARDWOOD BARK, MULCH

21. ALL NEW PLANTING AREAS, LAWN AND SOD SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM.

22. THE PURPOSE OF THIS PLAN IS FOR LANDSCAPE PURPOSES ONLY.

23. NO PLANT SHALL CONFLICT WITH SNOW STORAGE AREAS, LIGHT FIXTURES OR UNDERGROUND UTILITIES. NO LANDSCAPING SHALL CONFLICT WITH SIGHT DISTANCE.

LANDSCAPE LEGEND:

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BOTANICAL NAME / COMMON NAME

SMALL DECIDUOUS TREE

PRUNUS SUBHIRTELLA 'AUTUMNALIS' / AUTUMN FLOWERING CHERRY

LARGE EVERGREEN TREE

PICEA PUNGENS 'GLAUCA' / COLORADO BLUE SPRUCE

NARROW EVERGREEN

24 CHA	MAECYPARIS PISIFERA 'SOFT SERVE' / FALSECYPRESS, SOFT SERVE				
26	JUNIPERUS VIRGINIANA / EASTERN RED CEDAR				
13	THUJA OCCIDENTALLIS NIGRA / DARK AMERICAN ABORVITAE				
EVERGR	EEN SHRUB MEDIUM				
21	JUNIPERUS CHINENSIS 'ARMSTRONG AUREA' / OLD GOLD JUNIPER				
9	JUNIPERUS VIRGINIANA ' GREY OWL' / GREY OWL JUNIPER				
57	J. CHINENSIS ' PFITZERIANA COMPACTA' / COMPACT PFITZER JUNIPER				
EVERGREEN GROUNDCOVER					
33	LEUCOTHOE FONTANESIANA "SILVER RUN" / SILVER RUN LEUCOTHOE				
DECIDU	OUS SHRUB LARGE				
24	HYDRANGEA PANICULATA 'LITTLE QUICK FIRE'				

DECIDUOUS SHRUB SMALL

20	ILEX VERTICILLATA 'RED SPRITE' / RED SPRITE WINTERBERF
12	WEIGELA FLORIDA 'DARK HORSE' / DARK HORSE WEIGELA

SHRUB ROSE

- 28 ROSA KNOCKOUT 'DOUBLE' / DOUBLE KNOCKOUT ROSE PERENNIAL/ GRASSES
- GRASS HAKONECHELOA MACRA AUREOLA GOLDEN JAPANESE FOREST GRASS 2 GAL

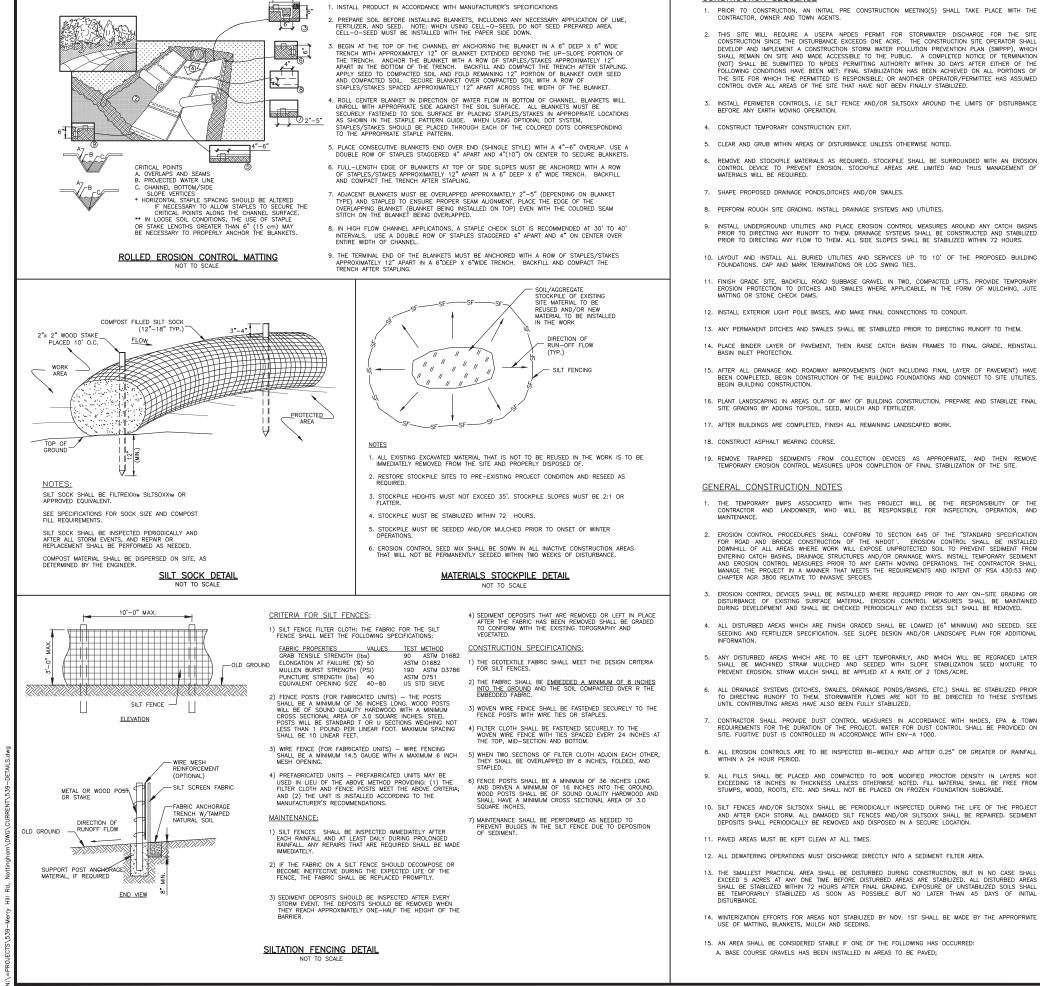
SIZE & REMARKS	MATURE HT.	MATURE WIDTH	The Dubay Group, Inc.
2.5" CAL. B¢B	20'-30'	20'-30'	Ine Dubay Group, Inc. 136 Harvey Road Bidg B101 Londonderry, NH 03053 603-458-6462 Engineers
G' HT. B¢B	60'	20'-30'	Planners Surveyors TheDubayGroup.com
8' HT. B¢B	GO'	30'-40'	
G' HT B¢B	8'-10'		
G' HT. B¢B	30-40'	15-20'	
G' HT. B¢B	30'-40'	15'-20'	
30" B¢B 30" B¢B	3'-4' 2'-3'	6'-8' 6'-8'	
30" B¢B	2-3	5'-6'	REVISIONS:
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5 GAL.	2-3=	3-4'	
4' HT. B¢B	8'-10' 8	3'- I O'	
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3 GAL.	3' 3	3-4'	
3 GAL.	3'-4' 3	3'-4'	
2 GAL.	2-3' 2	2-3'	
2 GAL.	2-3' 2	2-3'	DRAWN BY: REK CHECKED BY: DGM DATE: MAY 16, 2022 SCALE: NONE FILE: 539-LANDSCAPE DEED REF: BK 6362 PAGE 280
			PROJECT: THE BARN AT MERRY HILL 2 MERRY HILL ROAD NOTTINGHAM, NH 03290 FOR
			KUNG FOOD, LLC PO BOX 72 CHESTER, NH 03036
INFORMATION ROXIMATE. WE RACY OR 6HOWN. 72 ITION ON SITE, TACT	811. Dig		SHEET TITLE: LANDSCAPE NOTES AND DETAILS
	N	A●ME●NH●RI●VT	PROJECT #539 SHEET 8 of 11

THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. WI MAKE NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. 7 HOURS PRIOR TO ANY EXCAVATION ON S THE CONTRACTOR SHALL CONTACT DIG-SAFE AT 1-888-DIG-SAFE





Catalog Number	Description	Number	Lumens	Light Loss	Wattage	
	Wimin Full Cut off Decorative Round 59975hnaires, Type III Distribution, wit Curved Mounting Arm and 18 ft. R Steel Pole – 2 fixtures at 180 dec	Lamps LED 1 h bund	Per Lamp 12915	Factor 0.9	164	5
	Steel Pole - 2 lixtures at 160 der	rees				The Dubay Group, Inc. 136 Harvey Road Bldg B101
XDLM-B-3-LED-SS-N UE BLK / 5RPT S11 N BLK	WSingle Full Cut off Decorative Roun \$Lûðhinaire, Type III Distribution, with Curved Mounting Arm and 18 ft. R Steel Pole – 1 fixture at 90 degre	d LED 1	12915	0.9	82	Londonderry, NH 03053 603-458-6462
						Engineers Planners
						Surveyors TheDubayGroup.com
Symbol	Avg Max N	lin M	ax/Mir	Avo	ı∕Min	
+	0.4 fc 4.4 fc 0.) fc	N/A	1	N/A	
/e	<u>2.1 fc 4.4 fc 0.</u>	2 fc :	22.0:1	10	0.5:1	
						1 INCH = 30 FEET
						PHILIP J. INFURNA LIGHTING CONSULTANT CELL: 774-212-7981 EMAIL: pinfurna@gmail.com
						REVISIONS:
						REV: DATE: COMMENT: BY:
	/					
						DRAWN BY: SJK CHECKED BY: DGM DATE: MAY 16, 2022 SCALE: 1 ²⁷ -30 FILE: 539-LIGHTING DEED REF: BK 6364 PAGE 280
						PROJECT:
						THE BARN AT MERRY HILL 2 MERRY HILL ROAD NOTTINGHAM, NH 03290
						FOR
						KUNG FOOD, LLC
						PO BOX 72 CHESTER, NH 03036
						SHEET TITLE:
						LIGHTING PLAN
						PROJECT #539 SHEET 9 of 11



CHANNEL INSTALLATION SPECIFICATIONS:

- 16. IF.

SEEDING SPECIFICATION 1. TEMPORARY SEED

- C. SEEDING MIXTURE
- MIXTURE SPECIES WINTER F
 - ANNUAL PERENNI/
- 2. SEEDING SCHEDULE
- 3. ESTABLISHING A STAND OF GRASS

SQUARE FEET).

- 14. PLACE BINDER LAYER OF PAVEMENT, THEN RAISE CATCH BASIN FRAMES TO FINAL GRADE. REINSTALL

CONSTRUCTION SEQUENCE

- 15. AFTER ALL DRAINAGE AND ROADWAY IMPROVEMENTS (NOT INCLUDING FINAL LAYER OF PAVEMENT) HAVE BEEN COMPLETED, BEGIN CONSTRUCTION OF THE BUILDING FOUNDATIONS AND CONNECT TO SITE UTILITIES.
- PLANT LANDSCAPING IN AREAS OUT OF WAY OF BUILDING CONSTRUCTION. PREPARE AND STABILIZE FINAL SITE GRADING BY ADDING TOPSOIL, SEED, MULCH AND FERTILIZER.
- 19. REMOVE TRAPPED SEDIMENTS FROM COLLECTION DEVICES AS APPROPRIATE, AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF FINAL STABILIZATION OF THE SITE.

- 3. EROSION CONTROL DEVICES SHALL BE INSTALLED WHERE REQUIRED PRIOR TO ANY ON-SITE GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL, EROSION CONTROL MEASURES SHALL BE MANITAINED DURING DEVELOPMENT AND SHALL BE CHECKED PERIODICALLY AND EXCESS SUIT SHALL BE REMOVED.
- 4. ALL DISTURBED AREAS WHICH ARE FINISH GRADED SHALL BE LOAMED (6" MINIMUM) AND SEEDED. SEE SEEDING AND FERTILIZER SPECIFICATION. SEE SLOPE DESIGN AND/OR LANDSCAPE PLAN FOR ADDITIONAL
- ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER SHALL BE MACHINED STRAW MULCHED AND SEEDED WITH SLOPE STABILIZATION SEED MIXTURE TO PREVENT REGION. STRAW MULCH SHALL BE APPLIED AT A RATE OF 2 TONS/ACRE.
- ALL DRAINAGE SYSTEMS (DITCHES, SWALES, DRAINAGE PONDS/BASINS, ETC.) SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM. STORWWATER FLOWS ARE NOT TO BE DIRECTED TO THESE SYSTEMS UNTIL CONTRIBUTING AREAS HAVE ALSO BEEN FULLY STABILIZED.
- CONTRACTOR SHALL PROVIDE DUST CONTROL MEASURES IN ACCORDANCE WITH NHDES, EPA & TOWN REQUIREMENTS FOR THE DURATION OF THE PROVECT. WATER FOR DUST CONTROL SHALL BE PROVIDED ON SITE. FUGITIVE DUST IS CONTROLLED IN ACCORDANCE WITH EVY-A 1000.
- ALL EROSION CONTROLS ARE TO BE INSPECTED BI-WEEKLY AND AFTER 0.25" OR GREATER OF RAINFALL WITHIN A 24 HOUR PERIOD.
- ALL FILLS SHALL BE PLACED AND COMPACTED TO 90% MODIFIED PROCTOR DENSITY IN LAYERS NOT EXCEEDING 18 INCHES IN THICKNESS UNLESS OTHERWISE NOTED. FILL MATERIAL SHALL BE FREE FROM STUMPS, WOOD, ROOTS, ETC. AND SHALL NOT BE PLACED ON FROZEN FOUNDATION SUBGRADE.

- - B. APPLICATION RATE: 35 LBS/ACRE 1245 SQ FT/LB

MIXTURE SPECIES A TALL FESCU CREEPING F

REDTOP TOTAL

VERVAIN (VERBENA HASTATA).

WINTER NOTES

- SPRING MELT EVENTS:

- MAINTENANCE AND PROTECTION
- IS ESTABLISHED.

B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;

C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED; OR D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO IMMEDIATELY INSTALL AND MAINTAIN THE NECESSARY EROSION PROTECTION.

A. TEMPORARY VEGETATIVE COVER SHOULD BE APPLIED WHERE EXPOSED SOIL SURFACES WILL NOT BE FINAL GRADED WITHIN 45 DAYS. B SEED BED PREPARATION SHALL BE IN ACCORDANCE WITH THE NHDES STORMWATER MANAGEMENT MANUAL VOLUME 3, TEMPORARY VEGETATION SECTION.

	POUNDS PER ACRE	POUNDS PER 1,000 SQ. FT.
RYE	112	2.50
	80	2.00
RYEGRASS	40	1.00
AL RYEGRASS	30	0.17
	262	5.67

A. SPRING SEEDING USUALLY GIVES THE BEST RESULTS FOR ALL SEED MIXES OR WITH LEGUMES. B. PERMANENT SEEDING SHOULD BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST. IF SEEDING CANNOT BE DONE WITHIN THE SPECIFIED SEEDING DATES, MULCH ACCORDING TO THE NEW HAMPSHIRE STORWMATER MANAGEMENT MANUAL, VOLUME 3, CONSTRUCTION PHASE EROSION AND SEDIMENT CONTROLS AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.

A. STONES AND TRASH SHOULD BE REMOVED FROM LOAMED AREAS SO AS NOT TO INTERFERE WITH THE SEEDING PROCESS.

B. WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF 2 INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED. C. IF APPLICABLE, FERTILIZER AND ORGANIC SOIL AMENDMENTS SHOULD BE APPLIED DURING THE GROWING SEASON.

D. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 600 POUNDS PER ACRE OR 13.8 POUNDS PER 1,000 SQUARE FEET OF LOW PHOSPHATE FERTILIZER (N-P205-K20) OR EQUIVALENT. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB. PER 1,000 COUNDE FERTIL

E. FERTILIZER SHOULD BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER

4. SEED SHOULD BE SPREAD UNIFORMLY BY A METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDING HAND, CYCLONE SEEDER, DRILL, CULTIPACKER TYPE SEEDER OR HYDROSEEDER. A. INOCULATE ALL LEGUME SEED WITH THE CORRECT TYPE AND AMOUNT OF INOCULANTS.

B. NORMAL SEEDING DEPTH IS FROM ½ TO ½ INCH. HYDROSEEDING THAT INCLUDES MULCH MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED 10 % WHEN HYDROSEEDING.

C. WHERE FEASIBLE, EXCEPT WHERE EITHER A CULTIPACKER TYPE SEEDER OR HYDROSEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING OPERATIONS WITH A ROLLER, OR LIGHT DRAG. D. THE GRADE "A" OF SEEDING MIXTURE SHOULD BE USED WITH THE FOLLOWING SEEDING RATES, BASED ON THE SEEDING GUIDE.

	POUNDS PER	ACRE	POUNDS	PER	1,000	SQ.	FT.
	20			0.45			
FESCUE	20			0.45			
	2			0.05			
	42			0.95			
	FESCUE	20 FESCUE 20 2	FESCUE 20 2	20 FESCUE 20 2	20 0.45 FESCUE 20 0.45 2 0.05	20 0.45 FESCUE 20 0.45 2 0.05	20 0.45 FESCUE 20 0.45 2 0.05

5. ALTERNATE PERMANENT SEEDING FOR AREAS NOT RECEIVING LAWN OR LANDSCAPING SHALL BE AS FOLLOWS:

A THE NEW ENGLAND EROSION CONTROL/RESTORATION MIX CONTAINS A SELECTION OF NATIVE GRASSES AND WILDFLOWERS DESIGNED TO COLONIZE CENERALLY MOIST, RECENTLY DISTURBED SITES WHERE QUICK GROWTH OF VEGETATION IS DESIRED TO STABILIZE THE SOIL SURFACE. THIS MIX IS PARTICULARLY APPROPRIATE FOR DETENTION BASINS WHICH DO NOT NORMALLY HOLD STANDING WATER. THE PLANTS IN THIS MIX CAN TOLERATE INFREQUENT INUNDATION, BUT NOT CONSTANT FLOODING. IN NEW ENGLAND, THE BEST RESULTS ARE OBTINED WITH A STAND FALL SEEDING CAN BE SUCCESSFUL WITH A LICHT MULCHING OF WED-FREE STRAW TO CONSERVE MOISTURE. LATE FALL AND WINTER DORMANT SEEDING REQUIRE A SLIGHT INCREASE IN THE SEEDING RATE. FERTULZATION IS NOT REQUIRED UNLESS THE SOILS ARE PARTICULARLY INFERTILE.

C. SPECIES: SWITCHCRASS (PANICUM VIRCATUM), CREEPING RED FESCUE (FESTUCA RUBRA), VIRGINIA WILD RYE (ELYMUS VIRGINICUS), FOX SEDGE (CAREX VULPINOIDEA), CREEPING BENTGRASS (AGROSTIS STOLONIFERA), SULKY WILD RYE (ELYMUS VILLOSUS), NODDING BUR-MARIGOLD (BIDENS CERNUA), SOFT RUSH (JUNCUS EFFUSUS), GRASS-LEAVED GOLDENROD (SOLIDAGO GRMINIFOLIA), SENSITYE FERN (ONOCLEA SENSIBILIS), JOE-PYE WEED (EUPATORIUM MACULATUM), BONESET (EUPATORIUM PERFOLIATUM), FLAT-TOP ASTER (ASTER UMBELLATUS), NEW YORK ASTER (ASTER NOVI-BELGII), BLUE VERVINI, VEEPENA MASTAL)

1. ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLIATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROWND AND SHALL BE COMPLETED IN ADVANCE OF THAW OFF.

ALL AREAS TO BE PLANTED WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

3. AFTER NOVEMBER 15TH, INCOMPLETE SURFACES TO BE PAVED, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3 OR CRUSHED STONE.

1. THE CONTRACTOR SHALL TAKE WHATEVER MEASURES ARE NECESSARY TO PROTECT THE GRASS WHILE IT DEVELOPS.

TO BE ACCEPTABLE, SEEDED AREAS SHALL CONSIST OF A UNIFORM STAND OF AT LEAST 90 PERCENT ESTABLISHED PERMANENT GRASS SPECIES, WITH A UNIFORM COUNT OF AT LEAST 100 PLANTS PER SQUARE FOOT.

3. SEEDED AREAS WILL BE FERTILIZED AND RE-SEEDED AS NECESSARY TO INSURE VEGETATIVE

4. THE SWALES WILL BE CHECKED WEEKLY AND REPAIRED WHEN NECESSARY, UNTIL ADEQUATE VEGETATION

THE SILT FENCE AND/OR SILTSOXX BARRIER SHALL BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

6. SILT FENCE AND/OR SILTSOXX SHALL BE REMOVED ONCE VEGETATION IS ESTABLISHED, AND DISTURBED AREAS RESULTING FROM SLIT FENCE AND/OR SILTSOXX REMOVAL SHALL BE PERMANENTLY SEEDED.

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