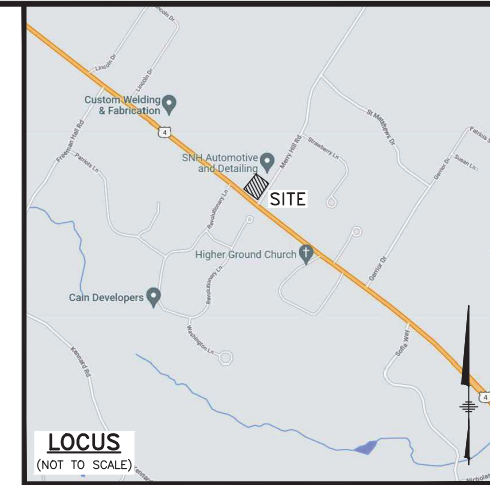


THE BARN AT MERRY HILL

2 MERRY HILL ROAD

NOTTINGHAM, NEW HAMPSHIRE



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 Londonderry, NH 03053
 603-458-6462

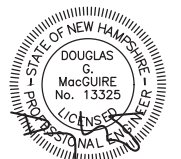
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SHEET INDEX

- 1 TITLE SHEET
- 2 EXISTING CONDITIONS PLAN
- 3 PREPARATION PLAN
- 4 SITE LAYOUT PLAN
- 5 GRADING, DRAINAGE, & UTILITY PLAN
- 6 EROSION CONTROL PLAN
- 7-8 LANDSCAPE PLAN & DETAILS
- 9 LIGHTING PLAN
- 10-11 SITE DETAILS



REVISIONS:			
REV.	DATE	COMMENT	BY
1	7/6/22	TOWN COMMENTS	SJK

DRAWN BY: SJK
 CHECKED BY: DGM
 DATE: MAY 16, 2022
 SCALE: NTS
 FILE: 539-COVER
 DEED REF: BK 6364
 PAGE 280

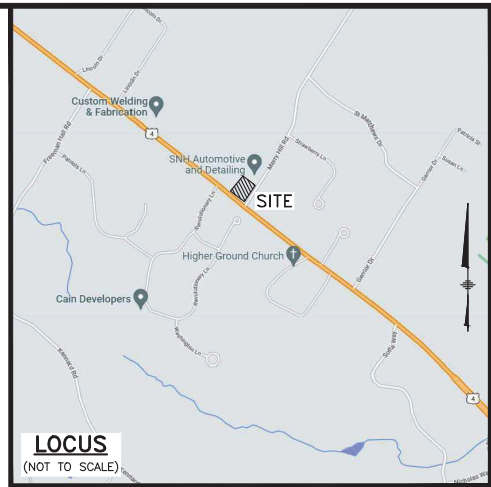
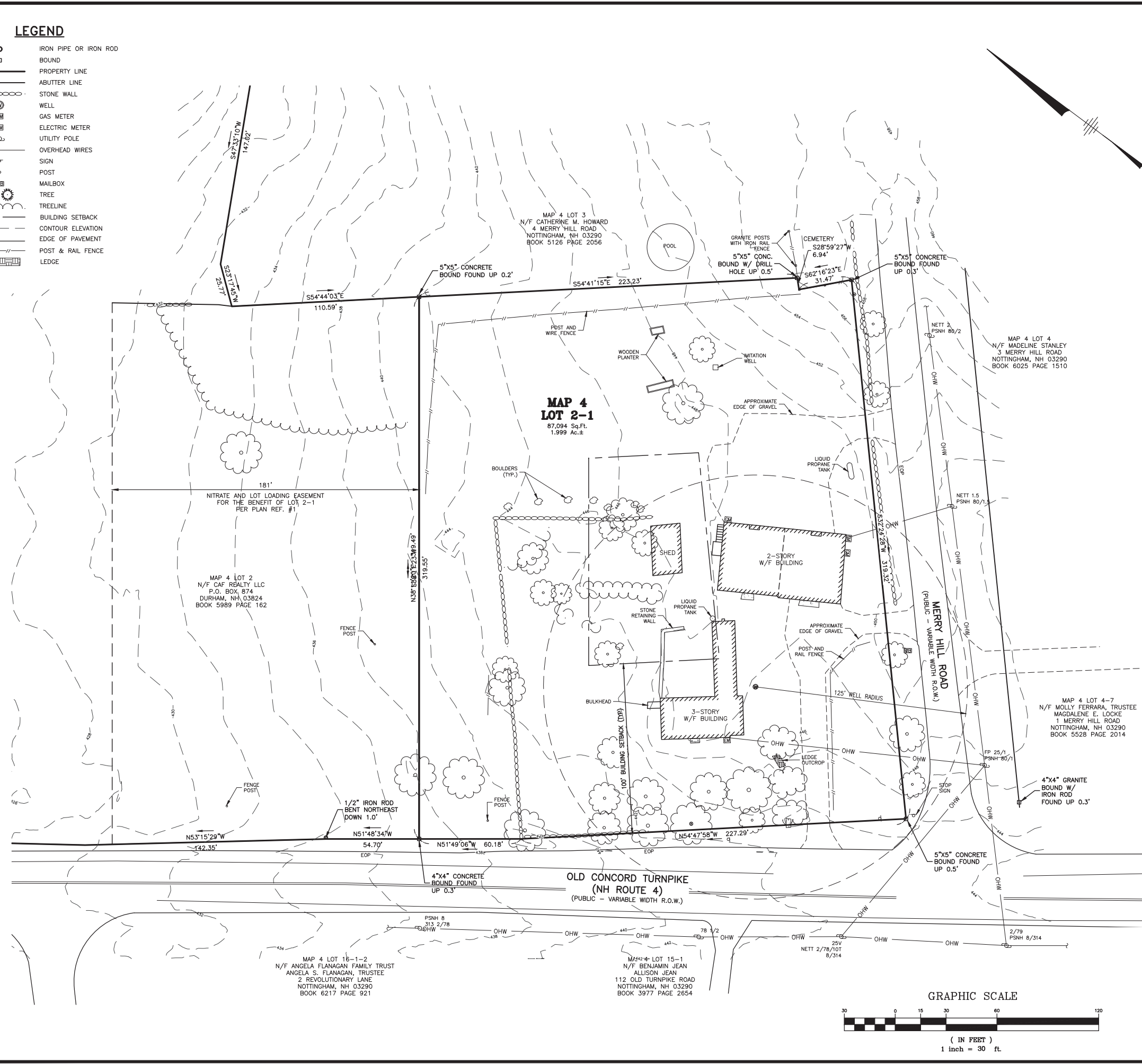
PROJECT:
THE BARN AT MERRY HILL
 2 MERRY HILL ROAD
 NOTTINGHAM, NH 03290

FOR
KUNG FOOD, LLC
 PO BOX 72
 CHESTER, NH 03036

SHEET TITLE:
TITLE SHEET

LEGEND

- IRON PIPE OR IRON ROD
- BOUND
- PROPERTY LINE
- ABUTTER LINE
- STONE WALL
- ⊙ WELL
- ⊕ GAS METER
- ⊖ ELECTRIC METER
- UTILITY POLE
- OHW OVERHEAD WIRES
- SIGN
- POST
- MAILBOX
- TREE
- TREE LINE
- BUILDING SETBACK
- 176 CONTOUR ELEVATION
- EOP EDGE OF PAVEMENT
- POST & RAIL FENCE
- LEDGE



NOTES:

1. THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING SITE CONDITIONS OF MAP 4 LOT 2-1 BASED ON A SURVEY PERFORMED BY THIS OFFICE BETWEEN FEBRUARY 15 AND FEBRUARY 16, 2022.
 2. THE BOUNDARY INFORMATION SHOWN HEREON IS BASED ON A SURVEY PERFORMED BY THIS OFFICE BETWEEN FEBRUARY 15 AND FEBRUARY 16, 2022 AND PLAN REFERENCES LISTED HEREON.
 3. THE HORIZONTAL DATUM IS BASED NAD83 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON FEBRUARY 16, 2022.
 4. THE VERTICAL DATUM IS BASED NAVD88 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON FEBRUARY 16, 2022.
 5. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON RECORD INFORMATION AND ABOVE GROUND FEATURES LOCATED BY THIS OFFICE. SAID UNDERGROUND UTILITIES ARE NOT WARRANTED TO BE EXACT OR INCLUSIVE OF ALL EXISTING UTILITIES.
 6. MAP 4 LOT 2-1 IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP 33015C0115E, WITH AN EFFECTIVE DATE OF MAY 17, 2005.
 7. MAP 4 LOT 2-1 IS ZONED COMMERCIAL/INDUSTRIAL PER THE TOWN OF NOTTINGHAM ZONING MAP:

MIN LOT SIZE:	87,120 SF± (2.00 ACRES)
MIN LOT FRONTAGE:	200 FT
MIN FRONT YARD:	100 FT (COMMERCIAL)
150 FT (INDUSTRIAL)	
MIN SIDE YARD:	100 FT
MIN REAR YARD:	100 FT
- REFER TO THE TOWN OF NOTTINGHAM ZONING ORDINANCE FOR ADDITIONAL INFORMATION.

REFERENCE PLANS:

1. PLAN ENTITLED "EASEMENT PLAN, TAX MAP 4 LOT 2, 2-1, DRAWING NO. E1" PREPARED BY JONES AND BEACH ENGINEERS, INC., DATED OCTOBER 3, 2017, LAST REVISED MARCH 21, 2019.
2. ROCKINGHAM COUNTY REGISTRY OF DEEDS (R.C.R.D.) D-15611
3. R.C.R.D. D-16618
4. R.C.R.D. D-19032

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DRAWN BY: NIG
 CHECKED BY: JAC
 DATE: MAY 16, 2022
 SCALE: 1"=30'
 FILE: 539-WS
 DEED REF: BK 6364
 PAGE 280

PROJECT:

THE BARN AT MERRY HILL
 2 MERRY HILL ROAD
 NOTTINGHAM, NH 03290

FOR

KUNG FOOD, LLC
 PO BOX 72
 CHESTER, NH 03036

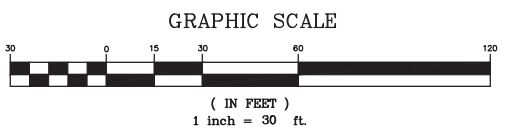
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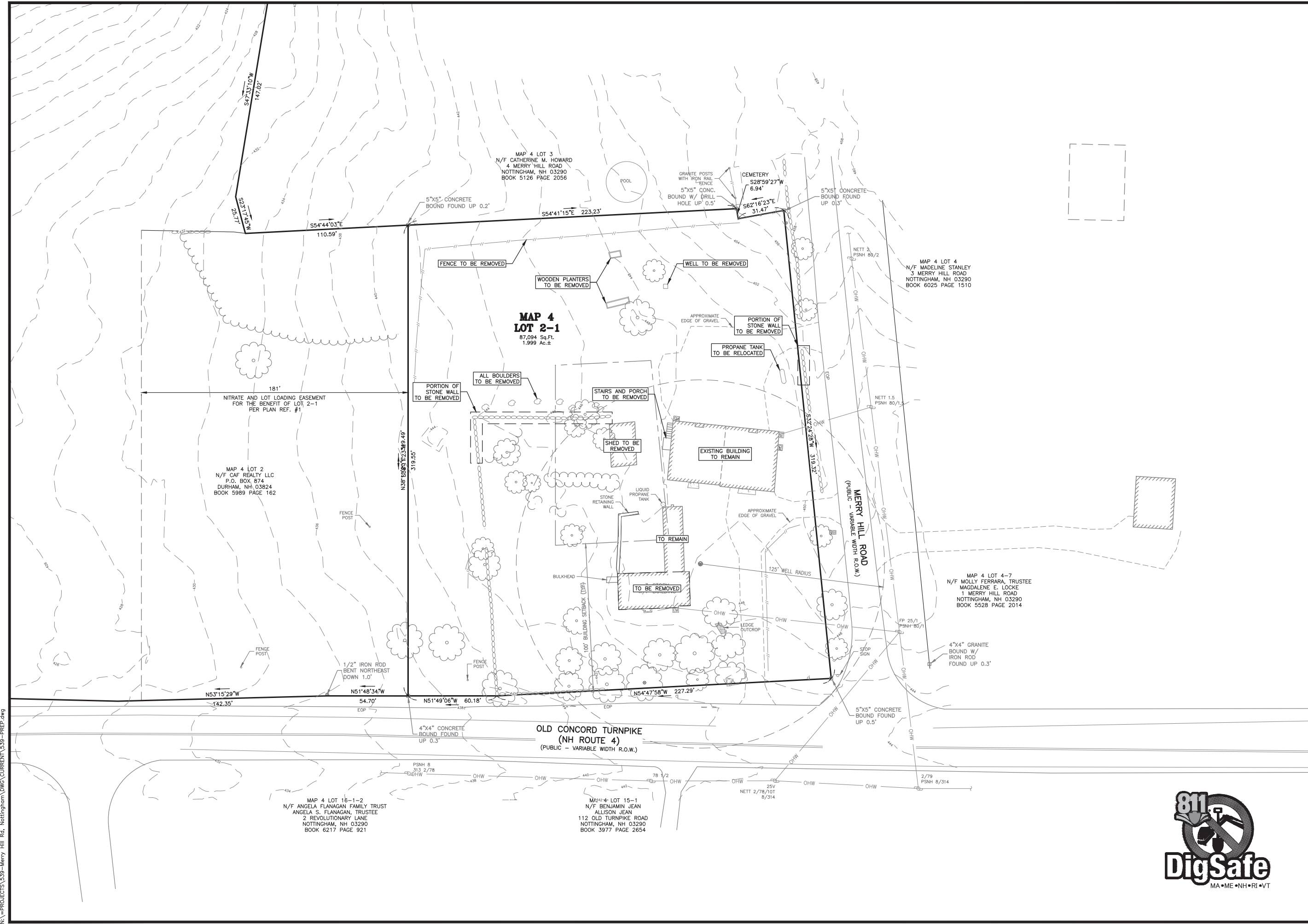
EXISTING CONDITIONS PLAN

PROJECT #539 SHEET 2 of 11

CERTIFICATION:

I CERTIFY THAT THIS SURVEY AND PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT THIS PLAN IS THE RESULT OF AN ACTUAL SURVEY PERFORMED ON THE GROUND IN FEBRUARY, 2022 AND HAS AN ERROR OF CLOSURE OF NOT MORE THAN ONE PART IN TEN THOUSAND.





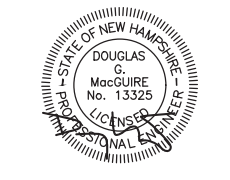
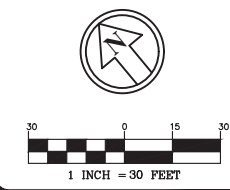
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 SCALE: 1"=30'
 FILE: 539-PREP
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 PAGE 280

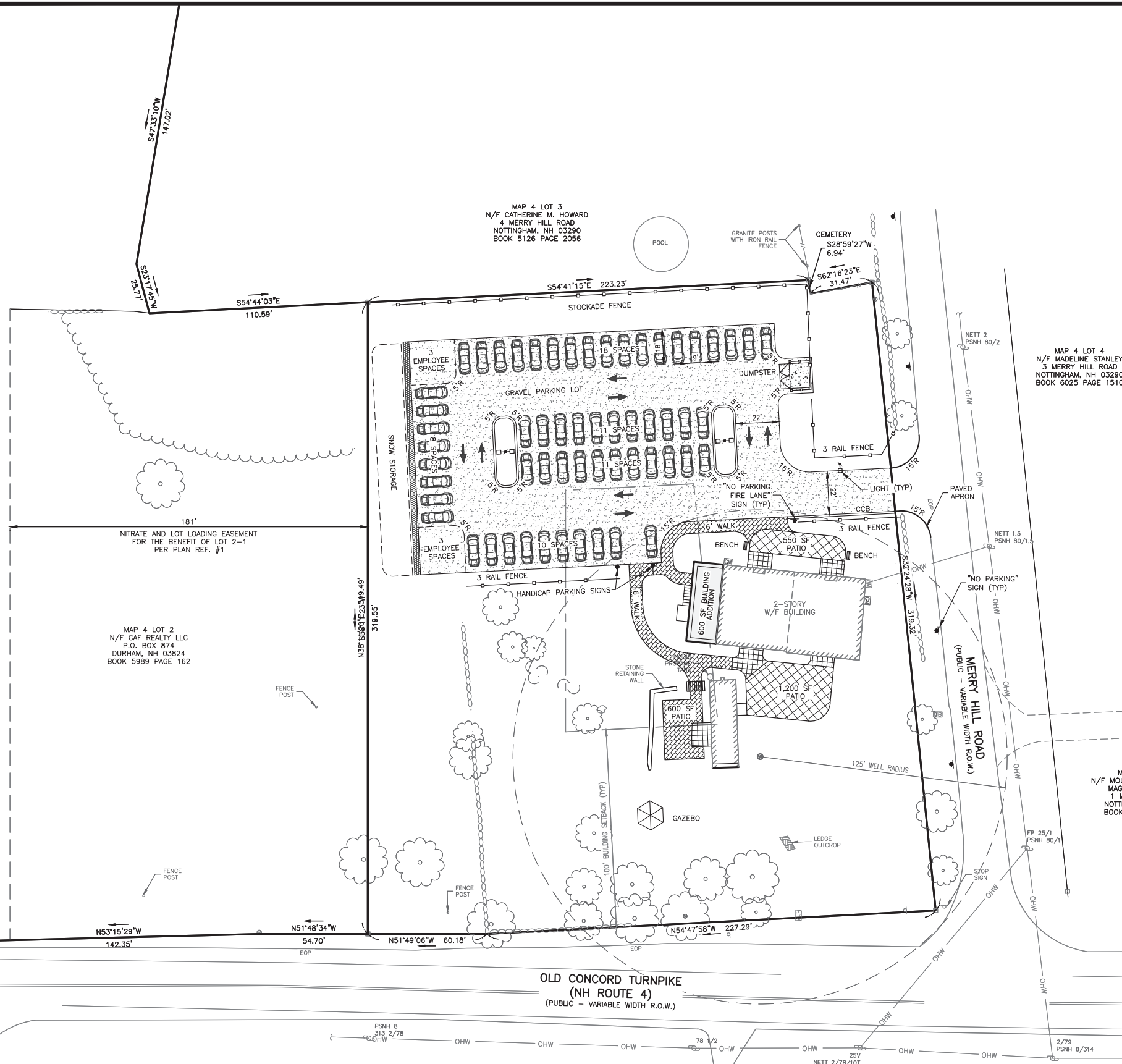
PROJECT:
THE BARN AT MERRY HILL
 2 MERRY HILL ROAD
 NOTTINGHAM, NH 03290

FOR
KUNG FOOD, LLC
 PO BOX 72
 CHESTER, NH 03036

SHEET TITLE:
PREPARATION PLAN



N:\PROJECTS\539-Merry Hill Rd., Nottingham\DWG\CURRENT\539-SITE.dwg



GENERAL NOTES:

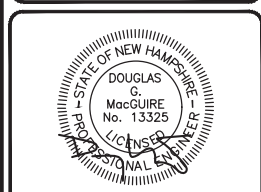
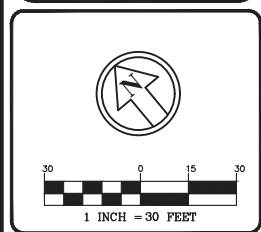
OWNER OF RECORD: MAP 4 LOT 2-1
87,094 SF (1.99 AC)
KUNG FOOD, LLC
PO BOX 72
CHESTER, NH 03036

- THE SUBJECT PARCEL IS ZONED COMMERCIAL/INDUSTRIAL
- THE PROPOSED DEVELOPMENT WILL BE SERVED BY ON-SITE WATER AND ON-SITE SEPTIC.
- ALL WORK TO BE DONE IN CONFORMANCE WITH THE TOWN OF NOTTINGHAM REGULATIONS. ALL PARKING, STRUCTURES, AND DRAINAGE TO MEET TOWN OF NOTTINGHAM SPECIFICATIONS.
- ZONING REQUIREMENTS:
MINIMUM LOT FRONTAGE: 200FT
MINIMUM FRONT YARD: 100FT
MINIMUM SIDE YARD: 100FT
MINIMUM REAR YARD: 100FT
- THE TOTAL AREA OF THE PARCEL TO BE DISTURBED BY SITE IMPROVEMENT ACTIVITIES IS LESS THAN 100 KSF, NOT NECESSITATING AN NHDES ALTERATION OF TERRAIN PERMIT.
- SNOW AND ICE CONTROL SHALL BE PERFORMED BY A "GREEN SNO-PRO" CERTIFIED CONTRACTOR FOLLOWING BEST MANAGEMENT PRACTICES FOR THE APPLICATION OF DE-ICING MATERIALS. IN THE EVENT ACCUMULATIONS OF WINTER SNOW VOLUMES EXCEED ON-SITE STORAGE CAPACITIES, EXCESS VOLUMES OF SNOW SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT A LEGAL DISPOSAL SITE. SEE SNOW STORAGE AREAS ON THIS PLAN.
- THIS PLAN SET CONTAINS A TOTAL OF 11 SHEETS. THE FULL SET OF PROJECT PLANS IS ON FILE AT THE NOTTINGHAM PLANNING DEPT.
- SEE ARCHITECTURAL PLANS FOR DETAILS AND OTHER FEATURES AT THE BUILDINGS. CONTRACTOR TO PERFORM THIS WORK AS DIRECTED BY THE OWNER.
- THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. THE DUBAY GROUP, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE, THE CONTRACTOR SHALL CONTACT NEW HAMPSHIRE DIG-SAFE TO CONFIRM UTILITY LOCATIONS.
- ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH THE TOWN OF NOTTINGHAM CONSTRUCTION STANDARDS AND DETAILS, LATEST EDITION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- A MINIMUM DRIVE AISLE WIDTH OF 22 FEET IS TO BE MAINTAINED THROUGHOUT THE PROJECT.
- CONTRACTOR SHALL MAINTAIN AN EFFECTIVE MEANS OF DUST CONTROL DURING THE CONSTRUCTION PERIOD USING WATER TRUCKS AND SWEEPERS AS DEEMED NECESSARY BY THE TOWN INSPECTOR.
- PARKING REQUIREMENTS:
1 SPACE/3 SEATS @ 150 SEATS = 50 SPACES
1 SPACES/ 2 EMPLOYEES @ 10 EMPLOYEES = 5 SPACES
REQUIRED = 55 SPACES
PROVIDED = 58 SPACES + 6 EMPLOYEE ONLY = 64 SPACES
- ANY MISSING BOUNDARY MONUMENTATION SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR.
- IF SOIL CONTAINING ANY LIVING OR VIABLE PORTION OF PLANTS ON THE NEW HAMPSHIRE PROHIBITED INVASIVE SPECIES LIST (AGR TABLE 3800) THE DEVELOPER WILL CONTACT THE NH COOPERATIVE EXTENSION SERVICE REGARDING RECOMMENDATIONS ON THE REMOVAL AND DISPOSAL OF THE INVASIVE SPECIES.
- PRIOR TO CONSTRUCTION, CONTACT DIG-SAFE CENTER, TOLL FREE AT 811. NEW HAMPSHIRE STATE LAW REQUIRES NOTIFICATION AT LEAST 3 BUSINESS DAYS BEFORE DIGGING OPERATIONS START.
- PERMITS:
NHDES SEPTIC APPROVAL: _____
- ACCESS BOXES ("KNOX") WITH NECESSARY FACILITY KEYS SHALL BE INSTALLED IN LOCATIONS APPROVED BY AHJ.



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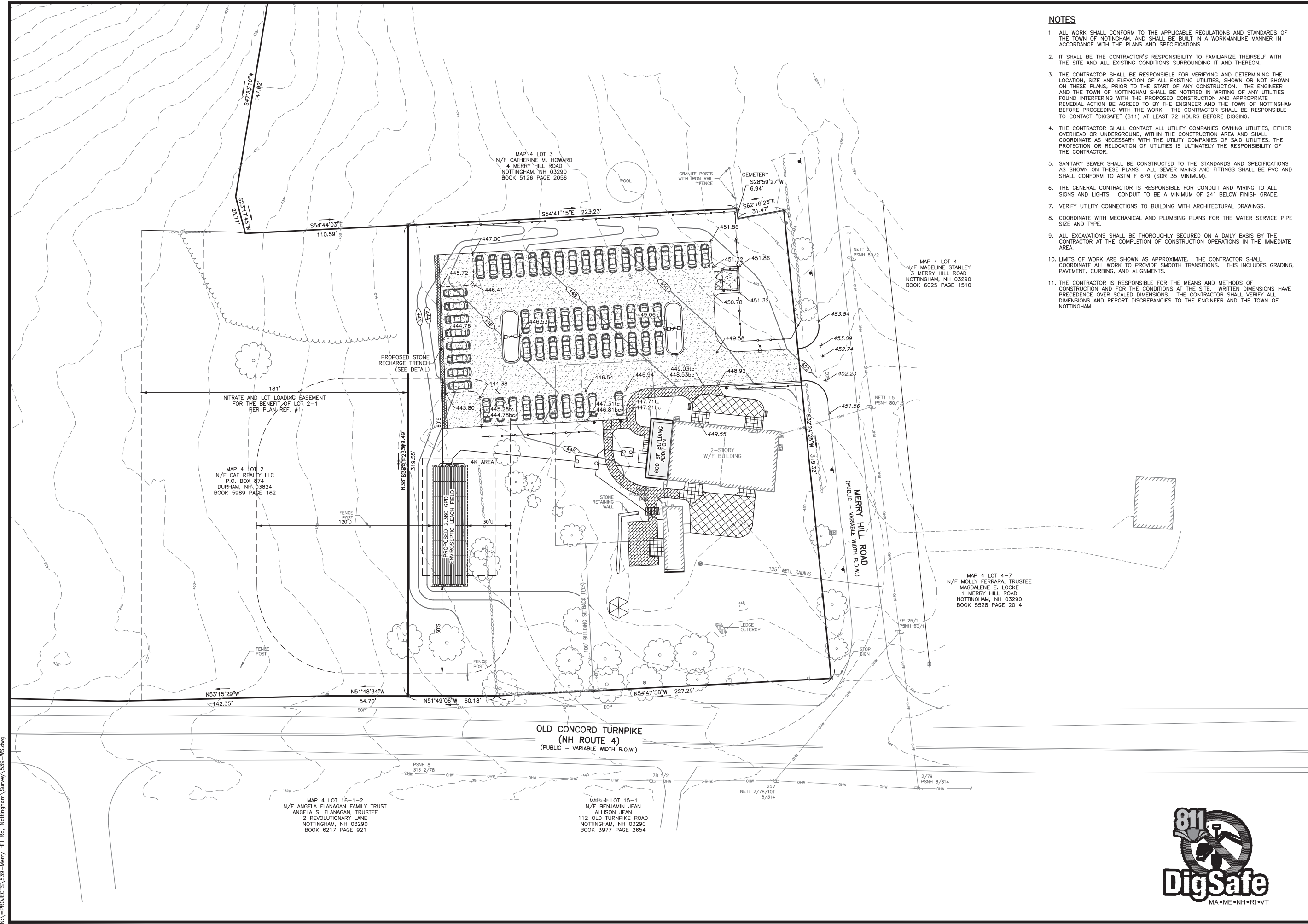
DRAWN BY: SJK
CHECKED BY: DGM
DATE: MAY 16, 2022
SCALE: 1"=30'
FILE: 539-SITE
DEED REF: BK 6364
PAGE 280

PROJECT:
THE BARN AT MERRY HILL
2 MERRY HILL ROAD
NOTTINGHAM, NH 03290

FOR
KUNG FOOD, LLC
PO BOX 72
CHESTER, NH 03036

SHEET TITLE:
SITE PLAN
PROJECT #539 SHEET 4 of 11





NOTES

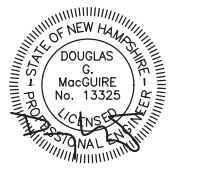
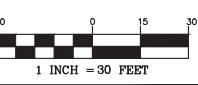
1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF NOTTINGHAM, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE SITE AND ALL EXISTING CONDITIONS SURROUNDING IT AND THEREON.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER AND THE TOWN OF NOTTINGHAM SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER AND THE TOWN OF NOTTINGHAM BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.
4. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
5. SANITARY SEWER SHALL BE CONSTRUCTED TO THE STANDARDS AND SPECIFICATIONS AS SHOWN ON THESE PLANS. ALL SEWER MAINS AND FITTINGS SHALL BE PVC AND SHALL CONFORM TO ASTM F 679 (SDR 35 MINIMUM).
6. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONDUIT AND WIRING TO ALL SIGNS AND LIGHTS. CONDUIT TO BE A MINIMUM OF 24" BELOW FINISH GRADE.
7. VERIFY UTILITY CONNECTIONS TO BUILDING WITH ARCHITECTURAL DRAWINGS.
8. COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR THE WATER SERVICE PIPE SIZE AND TYPE.
9. ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
10. LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, AND ALIGNMENTS.
11. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR THE CONDITIONS AT THE SITE. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ENGINEER AND THE TOWN OF NOTTINGHAM.



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 SCALE: 1"=30'
 FILE: 539-WS
 DEED REF: BK 6364
 PAGE 280

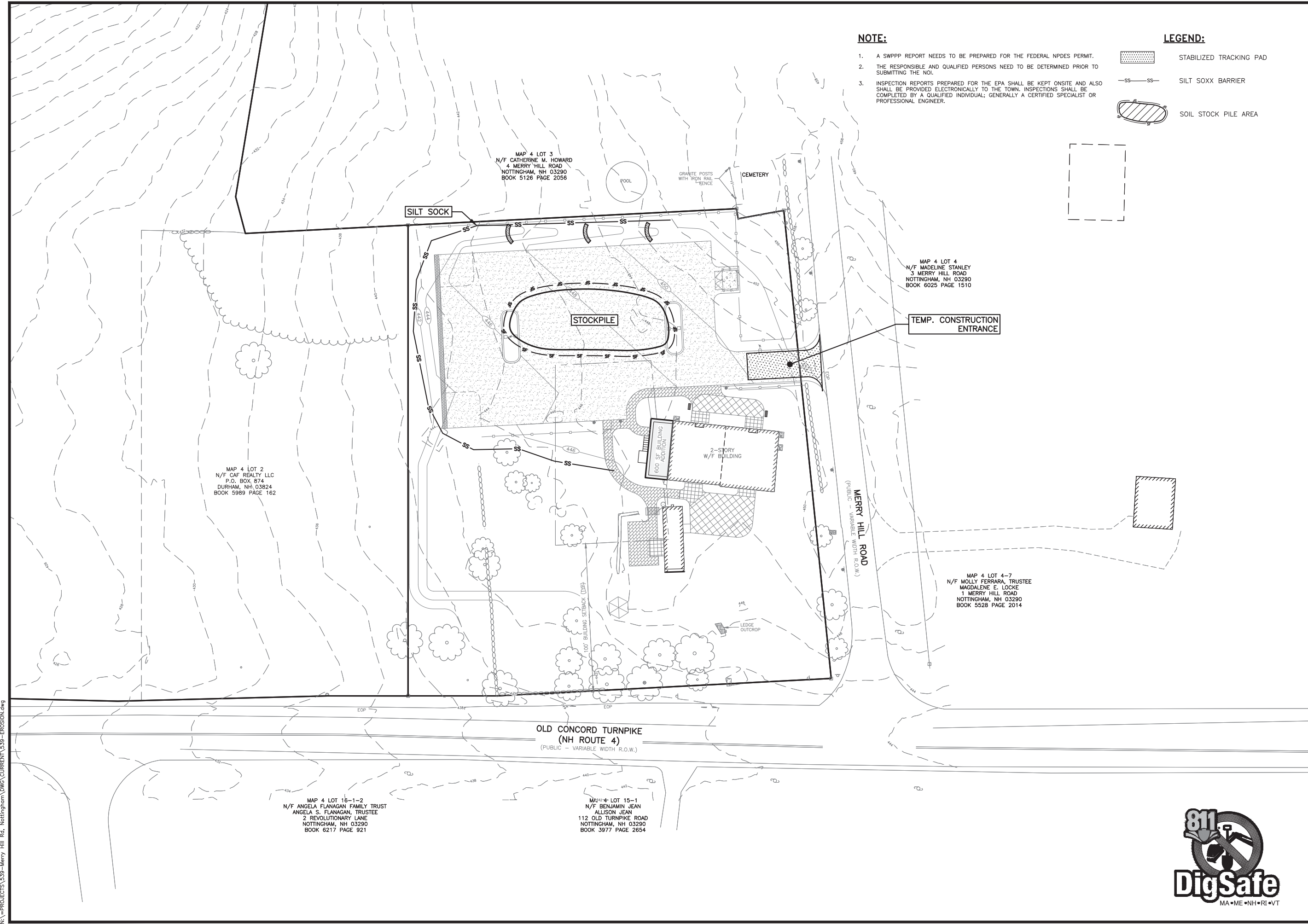
PROJECT:
THE BARN AT MERRY HILL
 2 MERRY HILL ROAD
 NOTTINGHAM, NH 03290

FOR
KUNG FOOD, LLC
 PO BOX 72
 CHESTER, NH 03036

SHEET TITLE:
GRADING, DRAINAGE, & UTILITY PLAN





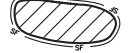
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NOTE:

1. A SWPPP REPORT NEEDS TO BE PREPARED FOR THE FEDERAL NPDES PERMIT.
2. THE RESPONSIBLE AND QUALIFIED PERSONS NEED TO BE DETERMINED PRIOR TO SUBMITTING THE NOI.
3. INSPECTION REPORTS PREPARED FOR THE EPA SHALL BE KEPT ONSITE AND ALSO SHALL BE PROVIDED ELECTRONICALLY TO THE TOWN. INSPECTIONS SHALL BE COMPLETED BY A QUALIFIED INDIVIDUAL; GENERALLY A CERTIFIED SPECIALIST OR PROFESSIONAL ENGINEER.

LEGEND:

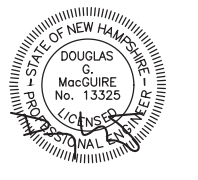
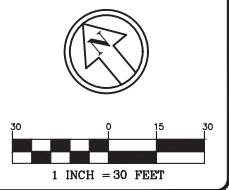
-  STABILIZED TRACKING PAD
-  SILT SOCK
-  SOIL STOCK PILE AREA



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 SCALE: 1"=30'
 FILE: 539-EROSION
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 PAGE 280

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THE BARN AT MERRY HILL
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FOR
KUNG FOOD, LLC
 PO BOX 72
 CHESTER, NH 03036

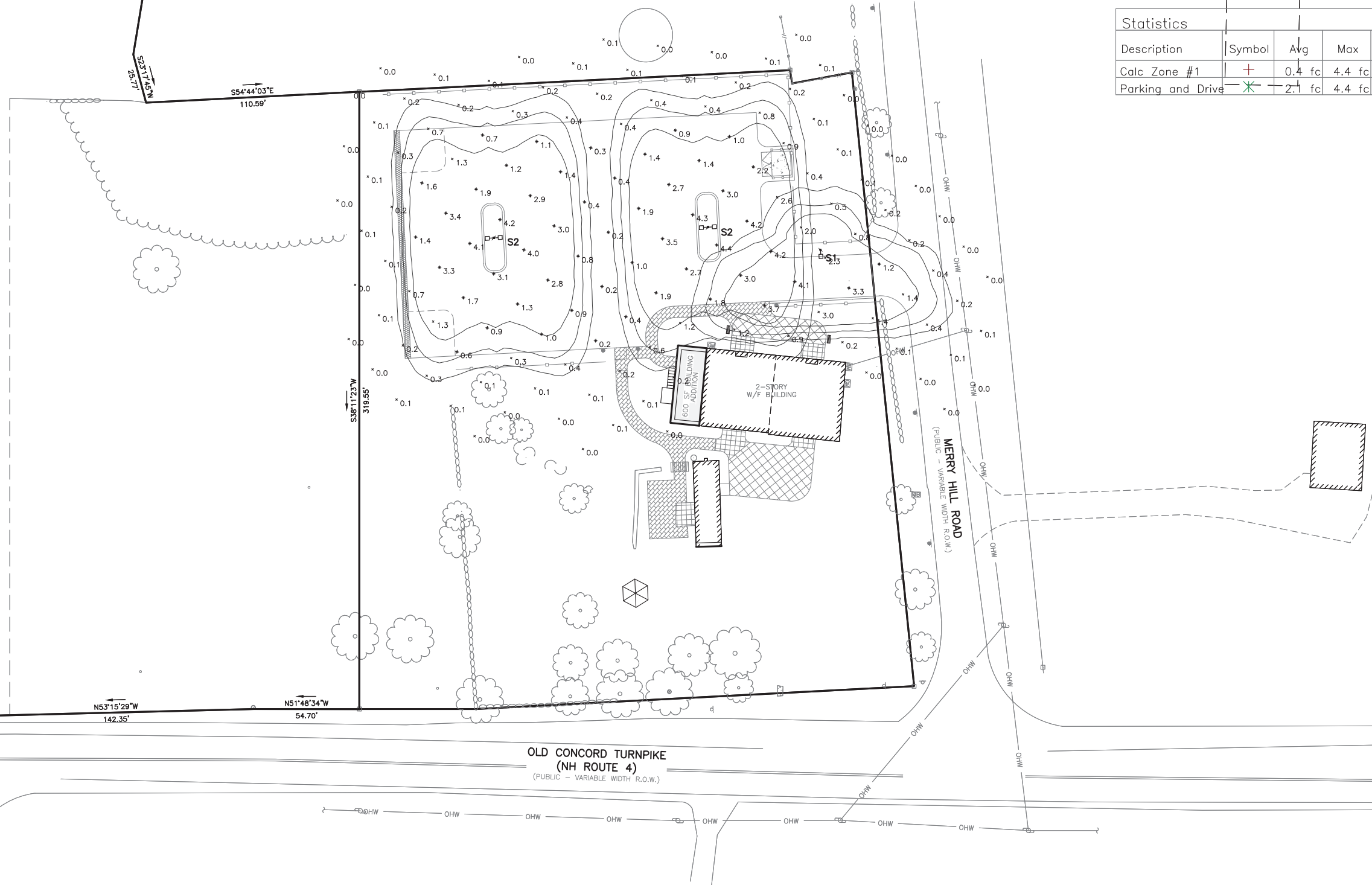
SHEET TITLE:
EROSION CONTROL PLAN

PROJECT #539 SHEET 6 of 11



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N:\PROJECTS\539-Merry Hill Rd, Nottingham\DWG\CURRENT\539-LIGHTING.dwg



Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	S2	2	LSI Lighting	XDLM-B-3-LED-SS-NW UE BLK CH D 180 / S11 G 18 N BLK	Two Full Cut off Decorative Round LED Luminaires, Type III Distribution, with Curved Mounting Arm and 18 ft. Round Steel Pole - 2 fixtures at 180 degrees	1	12915	0.9	164
	S1	1	LSI Lighting	XDLM-B-3-LED-SS-NW UE BLK / SRPT S11 N BLK	Single Full Cut off Decorative Round LED Luminaires, Type III Distribution, with Curved Mounting Arm and 18 ft. Round Steel Pole - 1 fixture at 90 degrees	1	12915	0.9	82

Statistics

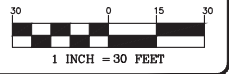
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.4 fc	4.4 fc	0.0 fc	N/A	N/A
Parking and Drive	*	2.1 fc	4.4 fc	0.2 fc	22.0:1	10.5:1



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PHILIP J. INFURNA
LIGHTING CONSULTANT
CELL: 774-212-7981
EMAIL: pinfurna@gmail.com

REVISIONS:

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DATE: MAY 16, 2022
SCALE: 1"=30'
FILE: 539-LIGHTING
DEED REF: BK 6364
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PROJECT:
THE BARN AT MERRY HILL
2 MERRY HILL ROAD
NOTTINGHAM, NH 03290

FOR
KUNG FOOD, LLC
PO BOX 72
CHESTER, NH 03036

SHEET TITLE:
LIGHTING PLAN

