THE STATE OF NEW HAMPSHIRE
DEPARTMENT OF TRANSPORTATION

District 6 Office, PO Box 740, Durham, NH 03824

William Cass, P.E.
Commissioner

David Rodrigue, P.E.
Assistant Commissioner

DRIVEWAY PERMIT

To: David Sanderson	City/Town:	Nottingham	Permit #:	06-351-389
The Forgotten MTN Realty Trust	Route/Road:	NH 156 (S0000156)	District:	06
7B Emery Lane	Patrol Section:	604	Permit Date	2/8/2024
Stratham, NH 03885	Tax Map:	69		
	Lot:	17		
	Development:	Residential		

Permission is hereby granted to construct (alter) a driveway, entrance, exit or approach adjoining NH 156 (S0000156), pursuant to the location and specifications as described below. Failure to adhere to the standards and engineering drawings previously approved shall render this instrument null and void. Failure to start or complete construction of said facility within one calendar year of the date of this permit shall require application for permit extension or renewal in accordance with the Driveway Access Rules. Facilities constructed in violation of the permit specifications or the rules, shall be corrected immediately upon notification by a Department representative. Any cost by the State to correct deficiencies shall be fully borne by the landowner. The landowner shall defend, indemnify and hold harmless the Department and its duly appointed agents and employees against any action for personal injury and/or property damage sustained by reason of the exercise of this permit.

06-351-389

Drive 1

Location: Approximately 0.35 miles south of Dolloff Dam Road on the west side of NH 156 (S0000156).
GPS: 43.068253 N 71.141947 W.

Specifications: This permit authorizes a paved access to be used as a Single Family Subdivision drive. Any change in use, increase in use or reconstruction of the driveway requires reapplication.

The right-of-way line is located 25 feet from and parallel to the centerline of the highway. The driveway shall not exceed 24 feet in width. The entrance of the drive may be flared; typically the flare radius is one half the driveway width.

Other Conditions:

No structures, including buildings, permanent or portable signs, lights, displays, fences, walls, etc. shall be permitted on, over or under the Highway Right of Way.

No parking, catering or servicing shall be conducted within the Highway Right of Way.

The applicant shall comply with all applicable ordinances and regulations of the municipality or other State Agencies.

The Department has relied on the title and subdivision information provided by the landowner. The Department has not performed additional title research and makes no warranty or representation concerning landowner's legal right to access. In the event of a dispute about the landowner's legal right to the access provided herein, the landowner will defend and indemnify the Department.

All excavated topsoil, or in the absence of topsoil the top 6 inches of soil, within the limits of state ROW shall be properly re-used within the limits of the state ROW. All temporary stockpiles of the re-use material shall be located within the state ROW, or as otherwise approved by the District Engineer.

The Contractor shall be solely responsible for the handling, transport and disposal of any surplus material generated by their project and shall comply with all federal, state and local laws, ordinances and rules in doing so.

generated by their project and shall comply with all federal, state and local laws, ordinances and rules in doing so.

I/We, the contractor/Owner, certify that the property will not have any illicit unauthorized drainage connections to the NHDOT storm water drainage system. An illicit discharge is any direct or indirect discharge to the NHDOT drainage system that is not composed entirely of storm water. Illicit discharges include, without limitation, sewage, process wastewater, or wash water and any connections from floor drains, sinks, or toilets.

1. This permit is for access to a proposed 17 lot subdivision. Any further development or subdivision will require reapplication for a driveway permit.

2. The reconstruction and change in use of one existing driveway entrance is permissible. See plans titled "Pawtuckaway Ridge Subdivision Raymond Road (RT 156) Tax Map 69, Lot 17" prepared for Joseph Falzone by Beals Associates, PLLC on file with this office and attached to this permit.

3.. This drive, and the drives granted under permit 06-351-104 dated February 27, 1978, are the only points of access allowed for this lot of record. There shall be no additional points of access permitted within the frontage of this parcel of property. Other access to the highway from the premises is to be prevented. No part of the right-of way may be used for any purpose other than travel.

4. The drainage along NH 156 shall be maintained.

5. All season safe sight distance shall be maintained by the landowner as per RSA 236:13.

6. This permit supersedes driveway permit 06- 351-194 dated March 12, 1991.

7. Interruptions to traffic shall be kept to a minimum and be maintained in accordance with the most current edition of the Manual on Uniform Traffic Control Devices (M.U.T.C.D.). When conditions warrant, flaggers and or uniformed officers shall be utilized and be of a competent nature.

8. The applicant will be responsible for mitigation should the future use of this driveway unfavorably impact the highway.

9. Contact the NHDOT District 6 office at 868-1133 at least 72 hours prior to driveway construction activities to allow NHDOT the opportunity to review driveway layout prior to paving.

Copies: District, Town, Patrolman

Beals Associates, PLLC
Scott D Cole
70 Portsmouth Avenue, 3rd Floor
Stratham, NH 03885

Approved _____
Assistant District Engineer
For Director of Administration

NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION

District 1, 641 Main St, Lancaster, NH 03584
District 2, 8 Eastman Hill Road, Enfield, NH 03748
District 3, 2 Sawmill Rd, Gilford, NH 03249
District 4, 19 Base Hill Road, Swanzey, NH 03446
District 5, PO Box 16476, Hooksett, NH 03106
District 6, PO Box 740, Durham, NH 03824

#9447

APPLICATION FOR DRIVEWAY PERMIT

Pursuant to the provisions of **Revised Statutes Annotated, Chapter 236, Section 13** (printed on reverse of application) and amendments thereto, and **Declaratory Ruling 2000-01**, permission is requested to: (*circle one*): **Construct / Alter** (*Indicate quantity of*) 1 driveway entrance(s) to my property on the (*circle one*): **North / South / East / West** side of **NH Route** 156 or **Street/Road:** RAYMOND ROAD In the **Town of** NOTTINGHAM at a location which will meet the requirements for safety specified in said statutes.

The driveway entrance(s) requested is (are) for access to: Residential Subdivision
Residence, Industry, Business, Subdivision, Other

Describe nature and size of industry, business or subdivision: 17-Residential Lots

125 **Feet** (*circle one*): **North / South / East / West** of Utility Pole Number: 316/86-1

0 **Feet or Miles** (*circle one*): **North / South / East / West** of Road or Junction:

Town Tax Map # 69 and Lot # 17

DOT off 0.5 mi 156 50 ft

As the landowner (or designated applicant) I agree to the following:

1. To construct driveway entrance(s) only for the bonafide purpose of securing access to private property such that the highway right-of-way is used for no purpose other than travel.
2. To construct driveway entrance(s) at permitted location(s).
3. To construct driveway entrance(s) in accordance with statutes, rules, standard drawings, and permit specifications as issued by the New Hampshire Department of Transportation.
4. To defend, indemnify and hold harmless the New Hampshire Department of Transportation and its duly appointed agents and employees against any action for personal injury and/or property damage sustained by reason of the exercise of this permit.
5. To furnish and install drainage structures that are necessary to maintain existing highway drainage and adequately handle increased runoff resulting from the land development and obtain all easements thereto.
6. I am the owner or a duly authorized agent of the owner of the parcel upon which the driveway will be constructed. I have provided accurate and complete title and subdivision information concerning the parcel to the Department. I understand that the Department is relying on this information in considering this application and that the Department does not perform independent title research or make judgments about title or access disputes.

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DEC 07 2023
NHDOT DISTRICT 6

- For new driveway(s), include copy of current deed and, if not the same, previous deed dated prior to July 1, 1971 of the parcel. If this parcel is part of a larger tract subdivided after July 1, 1971, then provide complete subdivision plans and deed history dating back to at least July 1, 1971.

- Attach sketch or plan showing existing and proposed driveway(s) and the adjacent highway indicating distance to town road, town line, or other readily identifiable feature or landmark and also to the nearest utility pole (including pole numbers)

12/5/23
Signature of Landowner (Applicant)

7b Emery Lane,
Mailing Address

David Sanderson Trustee
Printed Name of Landowner

Stratham, NH 03885
Town/City, State, Zip Code

Date:

Telephone Number(s) 603-772-9400

Contact /Agent, if not Landowner: Scott D. Cole of Beals Associates

FOR OFFICE USE ONLY:
GPS N = 43.068253 GPS W = 71.141947
Section: 604 Width: 24 Speed:
Right of Way: 50 Drainage: SLD:
Conditions:
Permit Number Assigned:

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§ 236:13 Driveways and Other Accesses to the Public Way. – I. It shall be unlawful to construct, or alter in any way that substantially affects the size or grade of, any driveway, entrance, exit, or approach within the limits of the right-of-way of any class I or class III highway or the state-maintained portion of a class II highway that does not conform to the terms and specifications of a written permit issued by the Commissioner of transportation.

II. Pursuant to this section, a written construction permit application must be obtained from and filed with the department of transportation by any abutter affected by the provisions of paragraph I. Before any construction or alteration work is commenced, said permit application shall have been reviewed, and a construction permit issued by said department. Said permit shall:

(a) Describe the location of the driveway, entrance, exit, or approach. The location shall be selected to most adequately protect the safety of the traveling public.

(b) Describe any drainage structures, traffic control devices, and channelization islands to be installed by the abutter.

(c) Establish grades that adequately protect and promote highway drainage and permit a safe and controlled approach to the highway in all seasons of the year.

(d) Include any other terms and specifications necessary for the safety of the traveling public.

III. For access to a proposed commercial or industrial enterprise, or to a subdivision, all of which for the purposes of this section shall be considered a single parcel of land, even though acquired by more than one conveyance or held nominally by more than one owner:

(a) Said permit application shall be accompanied by engineering drawings showing information as set forth in paragraph II.

(b) Unless all season safe sight distance of 400 feet in both directions along the highway can be obtained, the commissioner shall not permit more than one access to a single parcel of land, and this access shall be at that location which the commissioner determines to be safest. The commissioner shall not give final approval for use of any additional access until it has been proven to him that the 400-foot all season safe sight distance has been provided.

(c) For the purposes of this section, all season safe sight distance is defined as a line which encounters no visual obstruction between 2 points, each at a height of 3 feet 9 inches above the pavement, and so located as to represent the critical line of sight between the operator of a vehicle using the access and the operator of a vehicle approaching from either direction.

IV. No construction permit shall allow:

(a) A driveway, entrance, exit, or approach to be constructed more than 50 feet in width, except that a driveway, entrance, exit, or approach may be flared beyond a width of 50 feet at its junction with the highway to accommodate the turning radius of vehicles expected to use the particular driveway, entrance, exit or approach.

(b) More than 2 driveways, entrances, exits or approaches from any one highway to any one parcel of land unless the frontage along that highway exceeds 500 feet.

V. The same powers concerning highways under their jurisdiction as are conferred upon the commissioner of transportation by paragraphs I, II, III and IV shall be conferred upon the planning board in cities and towns in which the planning board has been granted the power to regulate the subdivision of land as provided in RSA 674:35, and they shall adopt such regulations as are necessary to carry out the provisions of this section. Such regulations may delegate administrative duties, including actual issuance of permits, to a highway agent, board of selectmen, or other qualified official or body. Such regulations, or any permit issued under them, may contain provisions governing the breach, removal, and reconstruction of stone walls or fences within, or at the boundary of, the public right of way, and any landowner or landowner's agent altering a boundary in accordance with such provisions shall be deemed to be acting under a mutual agreement with the city or town pursuant to RSA 472:6, II (a).

VI. The commissioner of transportation or planning board shall retain continuing jurisdiction over the adequacy and safety of every existing driveway, entrance, exit, and approach to a highway, whether or not such access was constructed or installed pursuant to a permit under this section, and, unless the access is a public highway, the owners of property to which the access is appurtenant shall have continuing responsibility for the adequacy of the access and any grades, culverts, or other structures pertaining to such access, whether or not located within the public right of way. If any such access is or becomes a potential threat to the integrity of the highway or its surface, ditches, embankments, bridges, or other structures, or a hazard to the safety of the traveling public, by reason of siltation, flooding, erosion, frost action, vegetative growth, improper grade, or the failure of any culvert, traffic control device, drainage structure, or any other feature, the commissioner of transportation or planning board or their designee may issue an order to the landowner or other party responsible for such access to repair or remove such hazardous condition and to obtain any and all permits required therefor. The order shall describe the hazard, prescribe what corrective action or alteration in the location or configuration of such access shall be required, and set a reasonable time within which the action shall be completed. Such an order shall be sent by certified mail, and shall be enforceable to the same extent as a permit issued under this section. If the order is not complied with within the time prescribed, the commissioner or planning board or their designee may cause to be taken whatever action is necessary to protect the highway and the traveling public, and the owner or other responsible party shall be civilly liable to the state or municipality for its costs in taking such action.

§ 236:14 Penalty. – Any person who violates any provision of this subdivision or the rules and regulations made under authority thereof shall be guilty of a violation if a natural person, or guilty of a misdemeanor if any other person; and, in addition, shall be liable for the cost of restoration of the highway to a condition satisfactory to the person empowered to give such written permission.

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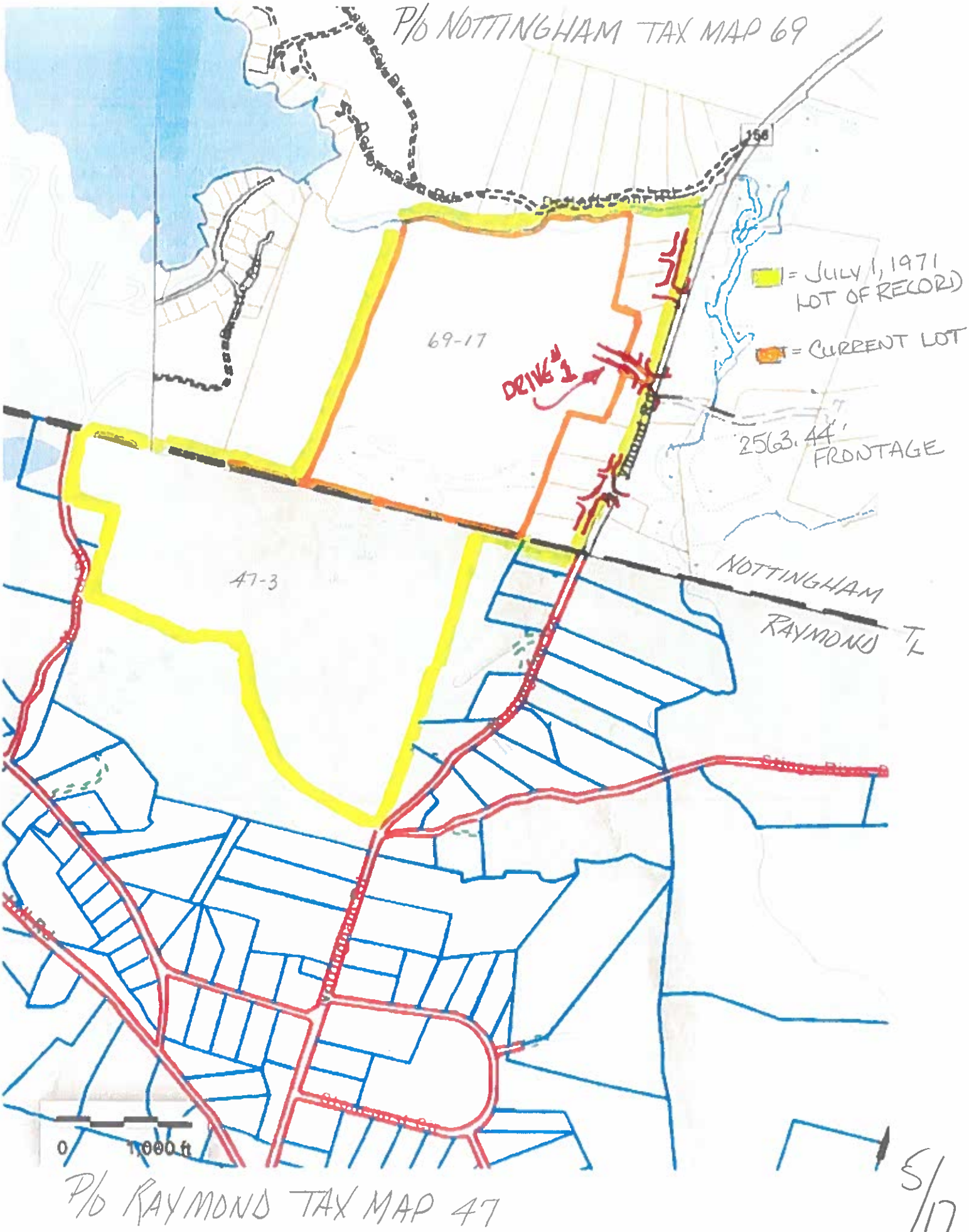
P/O NOTTINGHAM TAX MAP 69
158
= JULY 1, 1971 LOT OF RECORD
= CURRENT LOT
69-17
DRIVE 1
2563.44' FRONTAGE
47-3
NOTTINGHAM
RAYMOND TL
0
1,000 ft
P/O RAYMOND TAX MAP 47

5/17

Letter of Authorization

I, David Sanderson, Trustee of the Forgotten Mtn Realty Trust, owner of Tax Map 69 Lot 17 on Raymond Road in Nottingham, NH, do hereby authorize the following parties to act as agents on our behalf for the above-described property in order to apply for any necessary state and local applications or permits relative to the development of said lot:

Joseph Falzone and their agents to include but not limited to:

Beals Associates PLLC, 70 Portsmouth Ave, Stratham, NH

as agents to act on my behalf in matters to be discussed with the Town of Nottingham, State Departments and other Land Use Boards concerning the property previously mentioned.

I hereby appoint the above referenced parties as my agent to act on my behalf in the review process, to include any required signatures.

David Sanderson

David Sanderson

Trustee of The Forgotten Mtn Realty Trust

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DEC 18 2023

NHDOT DISTRICT 6

6/17

AGREEMENT

NOW COME Joseph Falzone ("Falzone") of 7B Emery Lane, Stratham, New Hampshire 03885 and Wayne and Donna Bibeau ("Bibeau") of 209 Raymond Road, Nottingham, New Hampshire 03290 (each a "Party" and collectively the "Parties") and agree as follows:

RECITALS

WHEREAS, Falzone is under contract to purchase from David Sanderson, Trustee of the Forgotten Mountain Realty Trust, certain vacant land, being a 93.19 +/- acre parcel identified as Nottingham, New Hampshire Tax Map 69, Lot 17;

WHEREAS, Bibeau owns land with improvements thereon being approximately 2.55 acres, identified as Nottingham, New Hampshire Tax Map 69, Lot 19. The Bibeau land directly abuts Tax Map 69 Lot 17;

WHEREAS, pending before the Nottingham Planning Board is Falzone's application for subdivision approval and with respect to Tax Map 69, Lot 17;

WHEREAS, Falzone and Bibeau each agree that it is in their best interests to adjust their respective lot lines in order to create parcels to be exchanged as set forth herein, together with any easement(s) required to effectuate the lot line adjustment(s) and conveyances;

NOW, THEREFORE, in consideration of the foregoing recitals and the remaining contents of this agreement, which Falzone and Bibeau individually and collectively agree constitutes just and fair consideration the Parties agree as follows:

1. Attached hereto and incorporated herein as **Exhibit 1** is a plan depicting:

   i) The areas of the Falzone lot and the Bibeau lot that will be the subject of lot line adjustments and subsequent conveyances.

   ii) The area of the Bibeau parcel over/under/through which an "18 inch" diameter drain line will run from detention ponds on the parcel to be conveyed to Falzone to a location in or near the proposed Falzone roadway entrance on Tax Map 69, Lot 17.

2. Conditioned upon Falzone receiving any and all required permits and approvals from the Town of Nottingham and or the State of New Hampshire, with all appeal periods expired:

   i) Falzone will convey to Bibeau the area identified on **Exhibit 1** as "27,544 SF/0.63 Ac".

   ii) Bibeau will convey to Falzone the area identified on **Exhibit 1** as "17,884 SF/0.41 Ac".

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iii) Bibeau will grant Falzone a perpetual easement, to run with the land, fifteen (15) feet in width, seven and one-half (7.5) feet on either side of the 18 inch drainage line, permitting Falzone to remove trees and vegetation as necessary, excavate and install, maintain and repair/replace as needed the 18 inch drainage line in the approximate location identified as "D" on **Exhibit 1**, and referenced in paragraph 1.ii) above. Falzone has agreed at his complete approximate cost of Thirteen Thousand Dollars ($13,000.00) to remove all the trees in front of the Bibeau home. Bibeau will tag the trees with Falzone before cutting commences in the event Bibeau wants to save certain hardwood trees.

3. Bibeau hereby authorizes Falzone to submit the proposed lot line adjustments to the Nottingham Planning Board.

4. This agreement constitutes the entire agreement and understanding of the parties. Any previous discussions or documents related hereto are merged into and superseded by this agreement.

5. This agreement shall be construed and enforced under the laws of the State of New Hampshire.

Effective upon the last date executed as set forth below.

Dated: 12/27/23 Joseph Falzone

Dated: 12/27/23 Wayne Bibeau

Dated: 12/27/23 Donna Bibeau

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JAN 04 2024

NHDOT DISTRICT 6

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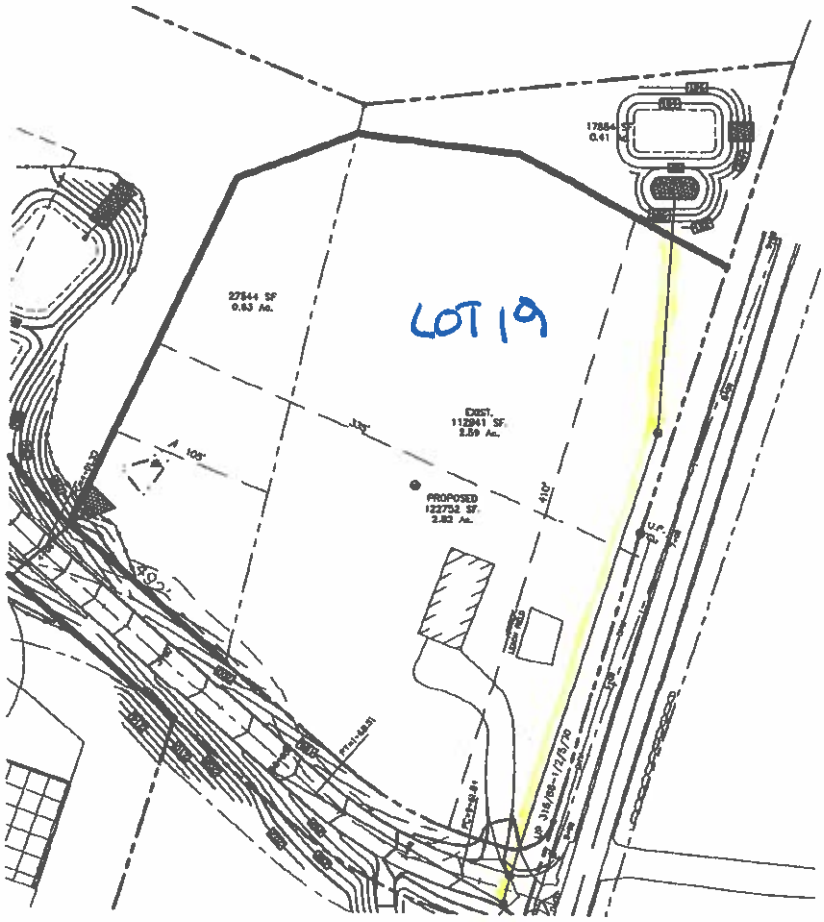
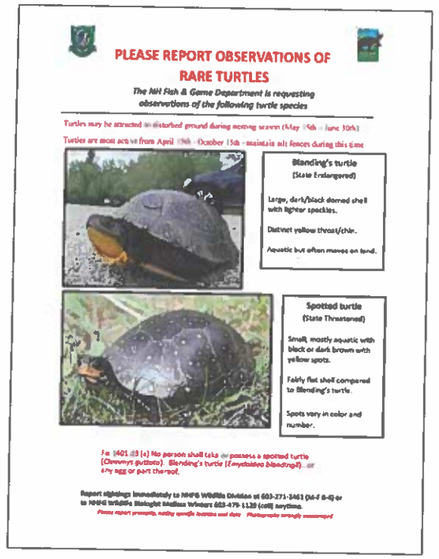


EXHIBIT
1

9/17

PAWTUCKAWAY RIDGE SUBDIVISION
RAYMOND ROAD (RT 156)
TAX MAP 69, LOT 17



PLEASE REPORT OBSERVATIONS OF RARE TURTLES

The NH Fish & Game Department is requesting observations of the following turtle species

Turtles may be attracted to disturbed ground during nesting season (May 15th - June 30th)

Turtles are most active from April 15th - October 15th - maintain silt fences during this time

Blanding's turtle (State Endangered)

Large, dark/black domed shell with lighter speckles.

Distinct yellow throat/chin.

Aquatic but often moves on land.

Spotted turtle (State Threatened)

Small, mostly aquatic with black or dark brown with yellow spots.

Fairly flat shell compared to Blanding's turtle

Spots vary in color and number.

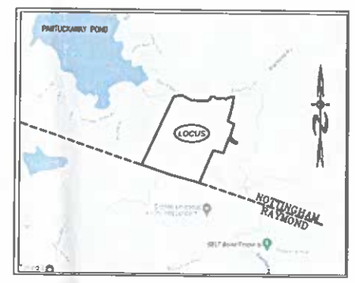
Fis 1401.03 (c) No person shall take or possess a spotted turtle (Clemmys guttata). Blanding's turtle (Emydoidea blandingii) or any egg or part thereof.

Report sightings immediately to NHFG Wildlife Division at 603-271-2461 (M-F 8-4) or to NHFG Wildlife Biologist Melissa Winters 603-479-1129 (cell) anytime.

Please report promptly, notify specific location and date. Photographs strongly encouraged

NEW HAMPSHIRE FISH AND GAME AOT PERMIT CONDITIONS RELATED TO THREATENED AND ENDANGERED SPECIES:

1. Blanding's turtle (state endangered), occur within the vicinity of the project area. All operators and personnel working on or entering the site shall be made aware of the potential presence of these species and shall be provided flyers that help to identify these species, along with NHFG contact information. See Plan This Sheet.
2. Rare species information (e.g. identification, observation and reporting of observations, when to contact NHFG immediately and NHFG contact information) shall be communicated during morning tailgate meetings prior to work commencement.
3. Turtles may be attracted to disturbed ground during nesting season. Turtle nesting season occurs approximately May 15th – June 30th. All turtle species nests are protected by NH laws. If a nest is observed or suspected, operators shall contact Melissa Winters (603-479-1129) or Josh Megyesy (978-578-0802) at NHFG immediately for further consultation. The nest or suspected nest shall be marked (surrounding roped off or cone buffer deployed) and avoided; this shall be communicated to all personnel onsite. Site activities shall not occur in the area surrounding the nest or suspected nest until further guidance is provided by NHFG.
4. Deed restriction language submitted to NHFG (attached above as _____ Deed Restriction_____FINAL.docx) for the protection of a ~_____ acre area on the property (map attached above as NH-1490_NHFG Conservation Buffer) shall be finalized as written and recorded in the Rockingham County Registry of Deeds.
5. All manufactured erosion and sediment control products, with the exception of turf reinforcement mats, utilized for, but not limited to, slope protection, runoff diversion, slope interruption, perimeter control, inlet protection, check dams, and sediment traps shall not contain plastic, or multifilament or monofilament polypropylene netting or mesh with an opening size of greater than 1/8 inches. See Plan Sheet 12.
4. All observations of threatened or endangered species on the project site shall be reported immediately to the NHFG nongame and endangered wildlife environmental review program by phone at 603-271-2461 and by email at NHFGreview@wildlife.nh.gov, with the email subject line containing the NHB DataCheck tool results letter assigned number, the project name, and the term Wildlife Species Observation.
5. Photographs of the observed species and nearby elements of habitat or areas of land disturbance shall be provided to NHFG in digital format at the above email address for verification, as feasible.
6. In the event a threatened or endangered species is observed on the project site during the term of the permit, the species shall not be disturbed, handled, or harmed in any way prior to consultation with NHFG and implementation of corrective actions recommended by NHFG.
   a. Site operators shall be allowed to relocate wildlife encountered if discovered within the active work zone if in direct harm from project activities. Wildlife shall be relocated in close proximity to the capture location but outside of the work zone and in the direction the individual was heading. NHFG shall be contacted immediately if this action occurs.
7. The NHFG, including its employees and authorized agents, shall have access to the property during the term of the permit.



LOCATION MAP

OWNER:
THE FORGOTTEN MTN REALTY TRUST
DAVID SANDERSON TRUSTEE
33 HOBBS ROAD
NORTH HAMPTON, NH 03862

OWNER/DEVELOPER:
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, N.H. 03885

INDEX

TOWN NOTES

IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE CONTRACTOR SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN

REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY DISTURBANCE OF THE SITE. SURFACE AREA AND SHALL BE MAINTAINED THROUGH THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES. IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.

ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO TOWN OF NOTTINGHAM SUBDIVISION REGULATIONS AND THE LATEST EDITION OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.

CIVIL ENGINEERS:

BA BEALS ASSOCIATES, PLLC
70 PORTSMOUTH AVE,
THIRD FLOOR, SUITE 2
STRATHAM, N.H. 03885
PHONE: 603-583-4860,
FAX. 603-583-4863

STATE OF NEW HAMPSHIRE CHRISTIAN O. SMITH No 9900 PROFESSIONAL ENGINEER

LAND SURVEYORS:

DOUCET SURVEY INC
Serving Your Professional Surveying & Mapping Needs
102 Kent Place, Newmarket, NH 03857-0163
Voice (603) 659-6560, Data (603) 659-4118

WETLAND / SOIL CONSULTANT:

GOVE ENVIRONMENTAL SERVICES INC.
8 CONTINENTAL DRIVE,
BLDG 2 UNIT H
EXETER, NH 03833
1-603-778-0644

STATE OF NEW HAMPSHIRE JAMES P. GOVE 11-16-2023 No. 804 WETLAND SCIENTIST

REQUIRED PERMITS

NHDES SUBDIVISION APPROVAL NUMBER: eSA2023.....
NHDES ALTERATION OF TERRAIN APPROVAL NUMBER: 2023.....

REVISIONS:	DATE:

NH-1490 PAWTUCKAWAY RIDGE
ISSUED DEC. 2023

10/17

NOTES:

1. REFERENCE: TAX MAP 69, LOTS 18* & 19
RAYMOND ROAD
NOTTINGHAM, NH
*LOT 18 IS NOT SHOWN AS A LOT OF RECORD PER TOWN OF NOTTINGHAM TAX MAP 69. LOT NUMBER BASED ON REFERENCE PLAN 3.

2. TOTAL PARCEL AREA: LOT 18–99,191 SQ. FT. OR 2.28 AC. (SEE NOTE 1)
LOT 19–111,254 SQ. FT. OR 2.55 AC.

3. OWNER OF RECORD: TAX MAP 69, LOT 18
THE FORGOTTEN MTN REALTY TRUST
DAVID SANDERSON, TRUSTEE
33 HOBBS ROAD
NORTH HAMPTON, NH 03862
R.C.R.D. BOOK 3953, PAGE 1595

TAX MAP 69, LOT 19
WAYNE W. & DONNA G. BIBEAU
209 NOTTINGHAM ROAD
NOTTINGHAM, NH 03290
R.C.R.D. BOOK 4800, PAGE 1685

4. ZONE: RESIDENTIAL/AGRICULTURAL

OPEN SPACE DESIGN
MIN. LOT SIZE: 30,000 SQ. FT.
MIN. FRONTAGE: 100'
MAX. HEIGHT: 34'
MIN. OPEN SPACE: 50%

BUILDING SETBACKS
FRONT: 35'
SIDE & REAR: 25'
POORLY DRAINED SOILS: 50'
VERY POORLY DRAINED SOILS: 75'

5. FIELD SURVEY PERFORMED BY DOUCET SURVEY DURING JULY & AUGUST, 2023 USING A TOTAL STATION AND A SURVEY GRADE GPS WITH A DATA COLLECTOR AND AN AUTO LEVEL. TRAVERSE ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS.

6. HORIZONTAL DATUM BASED ON NAD83(2011) NEW HAMPSHIRE STATE PLANE COORDINATE ZONE (2800) DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK.

7. JURISDICTIONAL WETLANDS DELINEATED BY GOVE ENVIRONMENTAL DURING JULY 2023 USING THE FOLLOWING STANDARDS:
- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
- FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.2. UNITED STATES DEPARTMENT OF AGRICULTURE (2018).
- NEW ENGLAND HYDRIC SOILS TECHNICAL COMMITTEE. 2020 VERSION 4, FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND. NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION, LOWELL, MA.
- U.S. ARMY CORPS OF ENGINEERS NATIONAL WETLAND PLANT LIST, VERSION 3.5. (2020)

8. THE PREVIOUS SUBDIVISION OF THE SUBJECT PARCEL, R.C.R.D. PLAN D-21270 WAS REVOKED BY THE PLANNING BOARD OF THE TOWN OF NOTTINGHAM ON JANUARY 24, 2001, SEE R.C.R.D. BOOK 3540, PAGE 933.

9. FLOOD HAZARD ZONE: "X" & "X" (OTHER FLOOD AREAS), PER FIRM MAP #33015C0185E, DATED 5/17/05. SEE FIRM MAP FOR SPECIFIC DETAILS.

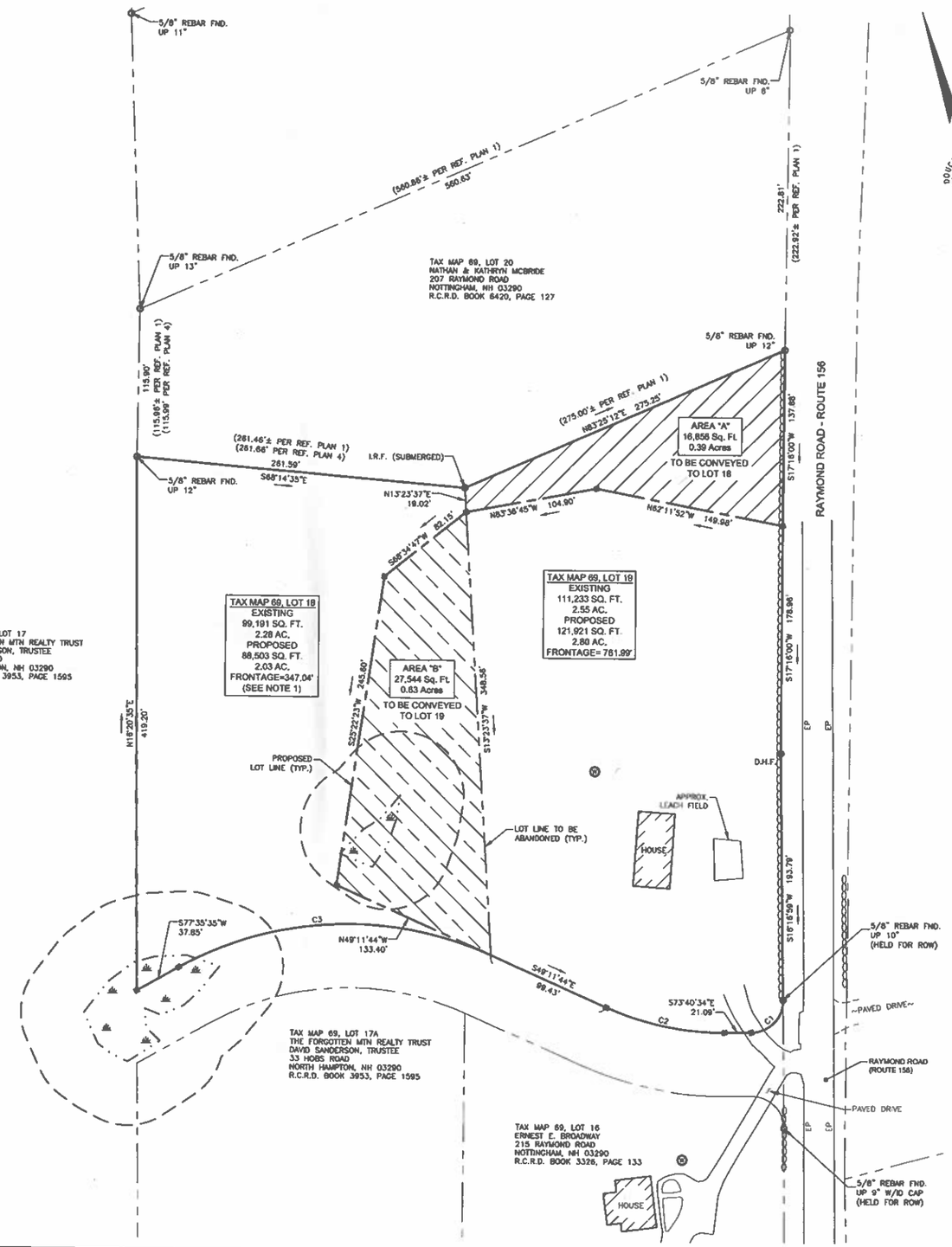
10. THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH AND IN RELATION TO THE CURRENT LEGAL DESCRIPTION, AND IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE.

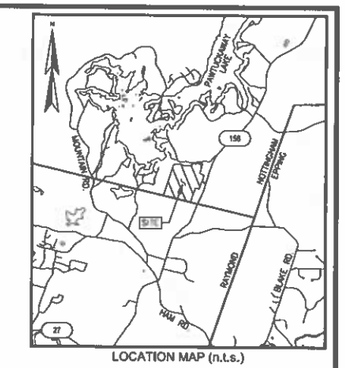
11. FINAL MONUMENTATION MAY BE DIFFERENT THAN THE PROPOSED MONUMENTATION SHOWN HEREON, DUE TO THE FACT THAT SITE CONDITIONS WILL DICTATE THE ACTUAL LOCATION AND TYPE OF MONUMENTS INSTALLED IN THE FIELD. PLEASE REFER TO EITHER THE "MONUMENTATION LOCATION PLAN" TO BE RECORDED OR CONTACT DOUCET SURVEY).

12. ALL UNDERGROUND UTILITIES (ELECTRIC, GAS, TEL, WATER, SEWER DRAIN SERVICES) ARE SHOWN IN SCHEMATIC FASHION. THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE AT 1-888-DIG-SAFE.

REFERENCE PLANS:

1. "11 LOTS FOR PAWTUCKAWAY ASSOCIATES" DATED MARCH 16, 1978 BY DAVID R. NOYES R.C.R.D. PLAN D-7714.
2. "LAND OF PAWTUCKAWAY ASSOCIATES (SEE 2257-0817 TRACTS 5 AND 13)" DATED JULY 22, 1977 BY DAVID R. NOYES R.C.R.D. PLAN D-7715.
3. "SUBDIVISION PLAN OF LAND FOR ALBERT BRIEN NH ROUTE 156 COUNTY OF ROCKINGHAM NOTTINGHAM, N.H." DATED JULY 18, 1990 BY RICHARD P. MILLETTE AND ASSOCIATES R.C.R.D. PLAN D-21270.
4. "NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, RIGHT OF WAY PLAN, NOTTINGHAM SAO 0-635". DATED 1941, ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.





LOCATION MAP (n.t.s.)

LEGEND
- EXISTING LOT LINE
- APPROXIMATE ABUTTERS LINE
- PROPOSED LOT LINE
- LOT LINE TO BE ABANDONED
- WETLAND BUFFER
- STONE WALL
- EDGE OF DELINEATED WETLAND
- WETLAND AREA
- DRILL HOLE FOUND (D.H.F.)
- PIPE/ROD FOUND
- 4"X4" GRANITE BOUND TO BE SET
- EP EDGE OF PAVEMENT

CURVE TABLE

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	39.34'	25.00'	90°09'40"	N61°14'36"E	35.41'
C2	96.00'	225.00'	24°28'46"	S61°25'07"E	95.27'
C3	255.40'	275.00'	53°12'44"	N75°48'06"W	246.32'

RECEIVED
DEC 18 2023
NHDOT DISTRICT 6

50 0 50 100
SCALE: 1 INCH = 50 FT.

BOUNDARY LINE ADJUSTMENT
FOR
HARBOR STREET LIMITED PARTNERSHIP
LAND OF
THE FORGOTTEN MTN REALTY TRUST
(TAX MAP 69, LOT 18)
&
WAYNE W. & DONNA G. BIBEAU
(TAX MAP 69, LOT 19)
RAYMOND ROAD
NOTTINGHAM, NEW HAMPSHIRE

NO.	DATE	DESCRIPTION	BY

DRAWN BY:	J.R.P.	DATE	DECEMBER 18, 2023
CHECKED BY:	M.W.F.	DRAWING NO.	8115C
JOB NO.	8115	SHEET 1 OF 1	

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102 Kent Place, Newmarket, NH 03857 (603) 659-6560
Offices in Bedford & Keene, NH and Kennebunk, ME
http://www.doucetsurvey.com

11/17

NEW HAMPSHIRE LICENSED LAND SURVEYOR No. 980 MATTHEW A. FAGINGER-AUER
SIGNATURE

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

L.L.S. #980
12/18/23
DATE

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

APPROVED BY THE NOTTINGHAM PLANNING BOARD

CHAIRPERSON	DATE

NOTES:

1. REFERENCE: TAX MAP 69, LOTS 17, 17A* & 18*
RAYMOND ROAD
NOTTINGHAM, NH
*LOTS 17A & 1B ARE NOT SHOWN AS LOTS OF RECORD PER TOWN OF NOTTINGHAM TAX MAP 69.

2. TOTAL PARCEL AREA: LOT 17–3,717,170 SQ. FT.± OR 85.33 AC.± (AREA CALCULATED TO EDGE OF RIVER)
LOT 17A–126,844 SQ. FT. OR 2.91 AC. (SEE NOTE #1)
LOT 1B–99,191 SQ. FT. OR 2.28 AC. (SEE NOTE #1)

3. OWNER OF RECORD: TAX MAP 69, LOTS 17, 17A & 1B
THE FORGOTTEN MTN REALTY TRUST
DAVID SANDERSON, TRUSTEE
33 HOBBS ROAD
NORTH HAMPTON, NH 03862
R.C.R.D. BOOK 3953, PAGE 1595

4. ZONE: RESIDENTIAL/AGRICULTURAL

OPEN SPACE DESIGN	
MIN. LOT SIZE:	30,000 SQ. FT.
MIN. FRONTAGE:	100'
MAX. HEIGHT:	34'
MIN. OPEN SPACE:	50%
BUILDING SETBACKS	
FRONT:	35'
SIDE & REAR:	25'
POORLY DRAINED SOILS:	50'
VERY POORLY DRAINED SOILS:	75'

5. FIELD SURVEY PERFORMED BY DOUCET SURVEY DURING JULY & AUGUST, 2023 USING A TOTAL STATION AND A SURVEY GRADE GPS WITH A DATA COLLECTOR AND AN AUTO LEVEL. TRAVERSE ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS.

6. AERIAL TOPOGRAPHY WAS CONDUCTED BY EASTERN TOPOGRAPHICS FROM IMAGES TAKEN DURING APRIL 2005 WITH A PHOTO SCALE OF 1"=400'. CONTOURS AND OBJECTS SHOWN WITHIN OBSCURED AREAS ARE APPROXIMATE AND SHOULD BE VERIFIED BEFORE USE FOR DESIGN OR CONSTRUCTION PURPOSES.

7. HORIZONTAL DATUM BASED ON NAD83(2011) NEW HAMPSHIRE STATE PLANE COORDINATE ZONE (2800) DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK.

8. VERTICAL DATUM IS BASED ON APPROXIMATE NAVD88(GEOID18) (±.2') DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK.

9. JURISDICTIONAL WETLANDS DELINEATED BY GOVE ENVIRONMENTAL DURING JULY 2023 USING THE FOLLOWING STANDARDS:
   - REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
   - FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.2. UNITED STATES DEPARTMENT OF AGRICULTURE (2018).
   - NEW ENGLAND HYDRIC SOILS TECHNICAL COMMITTEE. 2020 VERSION 4. FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND. NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION, LOWELL, MA.
   - U.S. ARMY CORPS OF ENGINEERS NATIONAL WETLAND PLANT LIST, VERSION 3.5. (2020)

10. THE PREVIOUS SUBDIVISION OF THE SUBJECT PARCEL, R.C.R.D. PLAN D–21270 WAS REVOKED BY THE PLANNING BOARD OF THE TOWN OF NOTTINGHAM ON JANUARY 24, 2001, SEE R.C.R.D. BOOK 3540, PAGE 933.

11. FLOOD HAZARD ZONE: "X" & "X" (OTHER FLOOD AREAS), PER FIRM MAP #33015C0185E, DATED 5/17/05. SEE FIRM MAP FOR SPECIFIC DETAILS.

12. PROPER FIELD PROCEDURES WERE FOLLOWED IN ORDER TO GENERATE CONTOURS AT 2' INTERVALS. ANY MODIFICATION OF THIS INTERVAL WILL DIMINISH THE INTEGRITY OF THE DATA, AND DOUCET SURVEY WILL NOT BE RESPONSIBLE FOR ANY SUCH ALTERATION PERFORMED BY THE USER.

13. THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH AND IN RELATION TO THE CURRENT LEGAL DESCRIPTION, AND IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE.

14. WATER BOUNDARIES ARE DYNAMIC IN NATURE AND ARE SUBJECT TO CHANGE DUE TO NATURAL CAUSES SUCH AS EROSION OR ACCRETION.

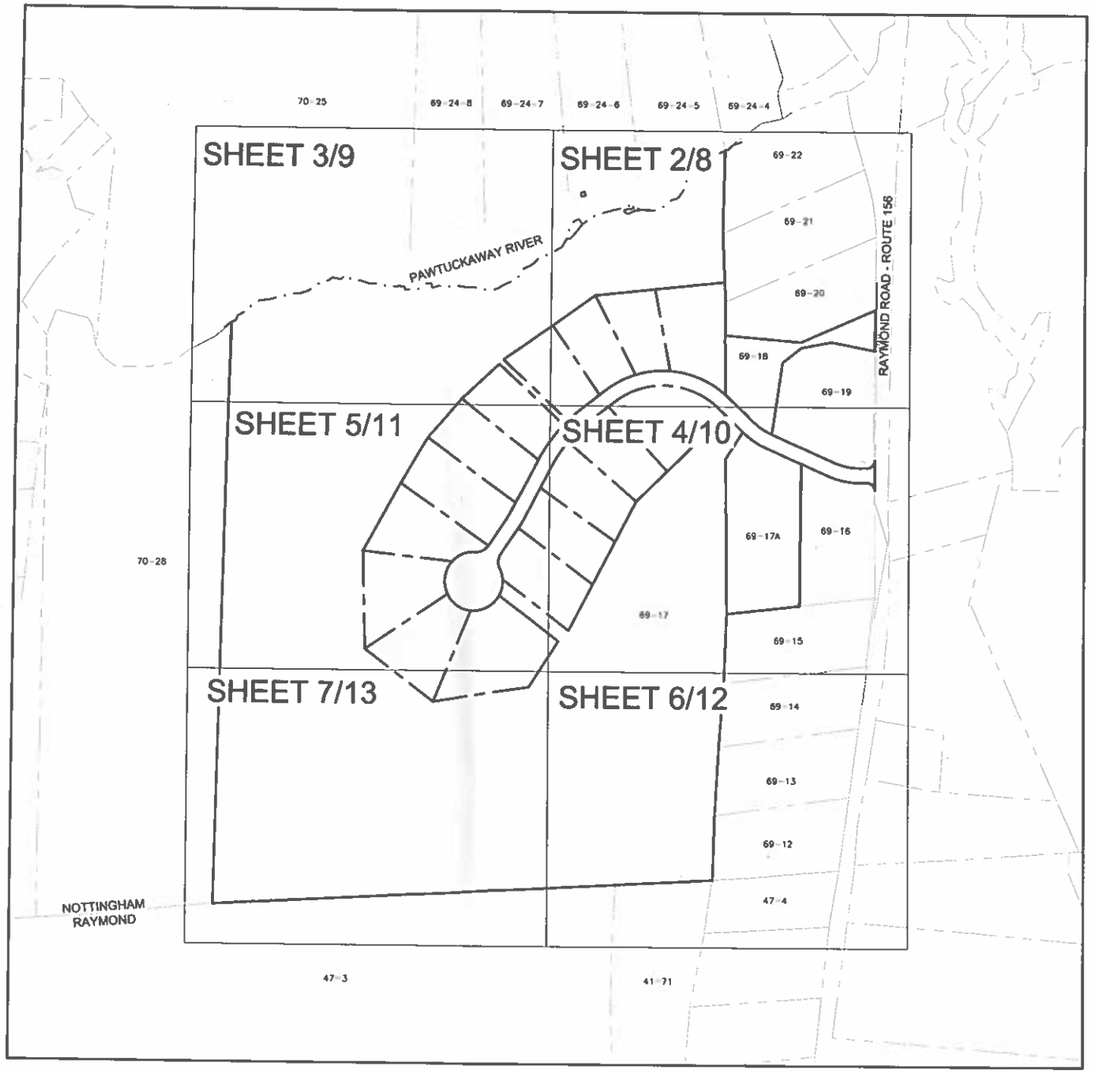
15. FINAL MONUMENTATION MAY BE DIFFERENT THAN THE PROPOSED MONUMENTATION SHOWN HEREON, DUE TO THE FACT THAT SITE CONDITIONS WILL DICTATE THE ACTUAL LOCATION AND TYPE OF MONUMENTS INSTALLED IN THE FIELD. PLEASE REFER TO EITHER THE "MONUMENTATION LOCATION PLAN" TO BE RECORDED OR CONTACT DOUCET SURVEY. FOR CLARIFICATION OF MONUMENTS SET. (A RECORDED PLAN WILL BE PRODUCED AT THE DISCRETION OF DOUCET SURVEY).

16. ALL UNDERGROUND UTILITIES (ELECTRIC, GAS, TEL, WATER, SEWER DRAIN SERVICES) ARE SHOWN IN SCHEMATIC FASHION, THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGARDING SUCH. CALL DIG–SAFE AT 1–888–DIG–SAFE.

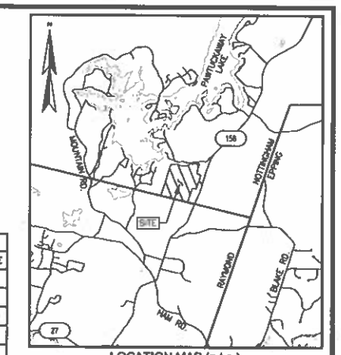
17. TOWN LINE PERAMBULATION AND ORIGINAL TOWN LINE MONUMENTS WERE UNABLE TO BE LOCATED BY CONTACTING THE TOWNS OF NOTTINGHAM AND RAYMOND.

REFERENCE PLANS:

1. "11 LOTS FOR PAWTUCKAWAY ASSOCIATES" DATED MARCH 16, 1978 BY DAVID R. NOYES R.C.R.D. PLAN D–7714.
2. "LAND OF PAWTUCKAWAY ASSOCIATES (SEE 2257–0817 TRACES 5 AND 13)" DATED JULY 22, 1977 BY DAVID R. NOYES R.C.R.D. PLAN D–7715.
3. "SUBDIVISION OF LAND FOR GARY & LEANN BERTRAM IN NOTTINGHAM, N.H." DATED MAY 15, 1985 BY SEACOAST ENGINEERING ASSOCIATES, INC. R.C.R.D. PLAN D–13859.
4. "SUBDIVISION PLAN OF LAND FOR ALBERT BRIEN NH ROUTE 156 COUNTY OF ROCKINGHAM NOTTINGHAM, N.H." DATED JULY 18, 1990 BY RICHARD P. MILLETTE AND ASSOCIATES R.C.R.D. PLAN D–21270.
5. "A SURVEY AND PLAT OF PROPERTY PREPARED FOR THE ESTATE OF FOREST DEARBORN SITUATED ON ROUTE 156 IN THE TOWN OF RAYMOND, N.H." DATED JUNE 23, 1982 BY R.S.L. LAYOUT & DESIGN, INC. R.C.R.D. PLAN D–22762.
6. "A SURVEY AND PLAT OF A SUBDIVISION PREPARED FOR COLE FAMILY TRUST SITUATED IN THE TOWN OF RAYMOND, N.H." DATED MAY 23, 1994 BY R.S.L. LAYOUT & DESIGN, INC. R.C.R.D. PLAN D–32888.
7. "PHASE TWO OF A SURVEY AND PLAT OF A SUBDIVISION PREPARED FOR THE COLE FAMILY TRUST SITUATED IN THE TOWN OF RAYMOND, N.H." DATED MARCH 29, 1999 BY R.S.L. LAYOUT & DESIGN, INC. R.C.R.D. PLAN D–24051.
8. "PHASE III OF A SURVEY AND PLAT OF A SUBDIVISION PREPARED FOR THE COLE FAMILY TRUST SITUATED IN THE TOWN OF RAYMOND, NH" DATED MARCH 27, 2000 BY R.S.L. LAYOUT & DESIGN, INC. R.C.R.D. PLAN D–30291.
9. "NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, RIGHT OF WAY PLAN, NOTTINGHAM SAO 0–635", DATED 1941, ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.



KEY MAP
SCALE: 1 INCH = 250 FT.



LOCATION MAP (n.t.s.)

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N29°11'18"W	32.98'
L2	S89°19'56"W	28.48'
L3	N89°19'56"E	25.95'
L4	N73°40'34"W	20.84'
L5	S73°40'34"E	21.09'

CURVE TABLE					
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	117.33'	275.00'	24°26'46"	S61°25'07"E	116.45'
C2	96.03'	275.00'	20°00'28"	S39°11'31"E	95.54'
C3	391.07'	275.00'	81°28'46"	N69°55'41"W	358.94'
C4	104.62'	475.00'	12°37'12"	S83°01'20"W	104.41'
C5	102.52'	475.00'	12°21'59"	S50°31'44"W	102.32'
C6	29.50'	275.00'	6°08'49"	N47°25'09"E	29.49'
C7	52.36'	50.00'	60°00'00"	S20°29'33"W	50.00'
C8	38.72'	100.00'	22°11'04"	N01°35'05"E	38.48'
C9	56.27'	100.00'	32°14'33"	N28°47'54"E	55.53'
C10	116.28'	100.00'	66°37'29"	N78°13'55"E	109.84'
C11	103.96'	100.00'	59°33'59"	S38°40'21"E	99.34'
C12	118.73'	100.00'	68°01'28"	S25°07'23"W	111.87'
C13	89.84'	100.00'	51°21'27"	S84°48'50"W	86.86'
C14	52.36'	50.00'	60°00'00"	N80°29'33"E	50.00'
C15	24.14'	225.00'	6°08'49"	N47°25'09"E	24.13'
C16	148.58'	525.00'	15°59'48"	S52°20'39"W	148.10'
C17	20.01'	525.00'	2°11'00"	S61°26'03"W	20.01'
C18	62.37'	525.00'	6°48'23"	S65°55'45"W	62.33'
C19	116.44'	325.00'	20°31'41"	S79°35'46"W	115.82'
C20	120.20'	325.00'	21°11'29"	N79°32'39"W	119.52'
C21	209.79'	325.00'	36°59'08"	N50°27'20"W	206.17'
C22	15.74'	325.00'	2°46'28"	N30°34'32"W	15.74'
C23	78.57'	225.00'	20°00'26"	S38°11'31"E	78.17'
C24	96.00'	225.00'	24°26'46"	S61°25'07"E	95.27'

RECEIVED
DEC 18 2023
NHDOT DISTRICT 6

SUBDIVISION PLAN
FOR
HARBOR STREET LIMITED PARTNERSHIP
LAND OF
THE FORGOTTEN MTN REALTY TRUST
(TAX MAP 69, LOTS 17, 17A & 18)
RAYMOND ROAD
NOTTINGHAM, NEW HAMPSHIRE

NO.	DATE	DESCRIPTION	BY

LEGEND

- EXISTING LOT LINE
- APPROXIMATE ABUTTERS LINE
- PROPOSED LOT LINE
- LOT LINE TO BE ABANDONED
- BUILDING SETBACK LINE
- WETLAND BUFFER
- PERIMETER BUFFER
- STONE WALL
- WIRE FENCE
- EDGE OF DELINEATED WETLAND
- EDGE OF WATER
- STREAM
- WETLAND AREA
- DRILL HOLE FOUND (D.H.F.)
- PIPE/ROD FOUND
- 4"X4" GRANITE BOUND TO BE SET
- UTILITY POLE
- EP — EDGE OF PAVEMENT

STATE OF NEW HAMPSHIRE — LICENSED LAND SURVEYOR — No. 9069 — MATTHEW A. FAGSINGER-MUER — SIGNATURE

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

L.L.S. #9069

12/18/23 DATE

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

APPROVED BY THE NOTTINGHAM PLANNING BOARD

CHAIRPERSON	DATE

DRAWN BY:	J.R.P.	DATE	DECEMBER 18, 2023
CHECKED BY:	M.W.F.	DRAWING NO.	8115D
JOB NO.	8115	SHEET 1 OF 13	

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12/17

ZONING REQUIREMENTS

ZONE: RESIDENTIAL/AGRICULTURAL-(RA)
OPEN SPACE DESIGN
- MIN. LOT SIZE = 30,000 SF
- MIN. FRONTAGE = 100'
- MAX. HEIGHT = 34'
- MIN. OPEN SPACE = 50%

BUILDING SETBACKS:

FRONT	35'
SIDE & REAR	25'
POORLY DRAINED SOILS	50'
VERY POORLY DRAINED SOILS	75'

LEACH FIELD SETBACKS

POORLY DRAINED SOILS	75'
VERY POORLY DRAINED SOILS	75'

PREPARED FOR:

JOSEPH FALZONE
7B EMERY LANE
STRATHAM, N.H. 03885

BA BEALS ASSOCIATES, PLLC
70 PORTSMOUTH AVE,
THIRD FLOOR, SUITE 2
STRATHAM, N.H. 03885
PHONE: 603-583-4860,
FAX. 603-583-4863

LOCATION MAP
1"=1000'

OPEN SPACE REQUIREMENTS

TOTAL LOT AREA = 85.3 ACRES
REQ'D OPEN SPACE = 50% OPEN
85.3 x .5 = 42.6 AC.
PROVIDED = 63.0 AC.
REQ'D BUILDABLE AREA = 50% MIN.
42.6 x .5 = 21.3 AC.
PROVIDED = 63.0 AC.
-16.3 WETLANDS
-13.1 STEEP SLOPES
PROVIDED = 33.6 AC.

0 100 200 300
SCALE: 1"=100'

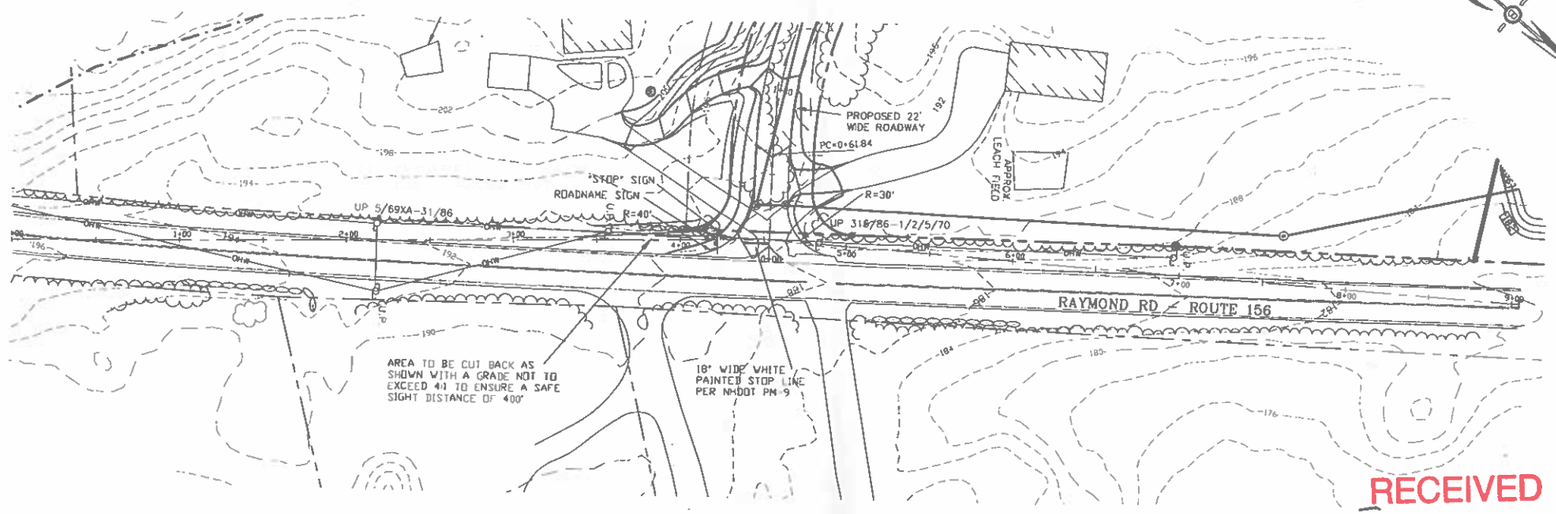
REVISIONS:	DATE:

SUBDIVISION PLAN

FOR:
RESIDENTIAL DEVELOPMENT
RAYMOND RD – ROUTE 156
NOTTINGHAM, NH

DATE:	DEC 2023	SCALE:	1"=100'
PROJ. N0:	NH-1490	SHEET NO.	15

13/17



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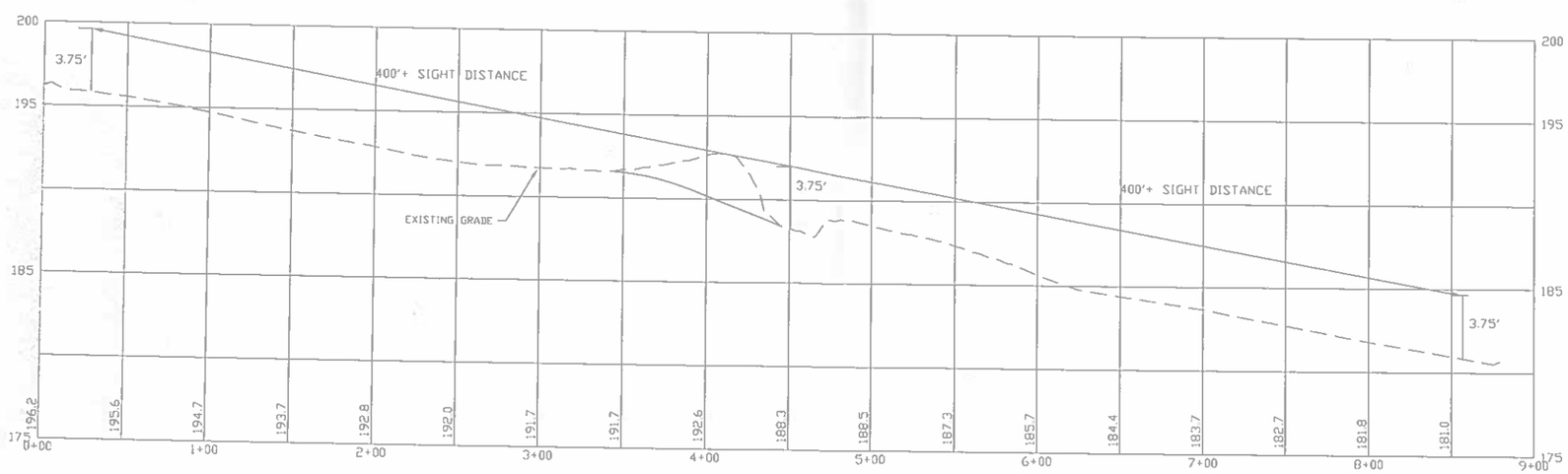
DEC 18 2023

NHDOT DISTRICT 6



PREPARED FOR:

JOSEPH FALZONE
7B EMERY LANE
STRATHAM, N.H. 03885

BA BEALS ASSOCIATES, PLLC
70 PORTSMOUTH AVE,
THIRD FLOOR, SUITE 2
STRATHAM, N.H. 03885
PHONE: 603-583-4860,
FAX: 603-583-4863

LOCATION MAP
1"=1000'

NOTES

1. ALL ELECTRICAL, TELEPHONE, CABLE TELEVISION AND ALARM LINES TO BE UNDERGROUND. THE SIZE AND LOCATION IS TO BE DETERMINED BY APPROPRIATE UTILITY COMPANY.
2. ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR, ENGINEER TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY.
3. ALL CONSTRUCTION METHODS AND MATERIALS WILL CONFORM TO THE TOWN STANDARD SPECIFICATIONS AND TO N.H.D.O.T. STANDARDS AND REGULATIONS.
4. ALL DRAINAGE STRUCTURE AND SWALES WILL BE BUILT AND STABILIZED PRIOR TO HAVING RUN-OFF DIRECTED TO THEM.
5. SEE DETAIL SHEETS FOR STANDARD CONSTRUCTION NOTES AND DETAILS.
6. PROPOSED UNDER DRAINS TO BE INSTALLED AS SHOWN ON THE TYPICAL ROAD CROSS SECTION DETAIL AND TIE INTO DRAINAGE STRUCTURES.

PROFILE SCALES:
HORIZONTAL: 1"=40' VERTICAL: 1"=4'

ROADWAY ACCESS PLAN

FOR:
RESIDENTIAL DEVELOPMENT
RAYMOND RD - ROUTE 156
NOTTINGHAM, NH

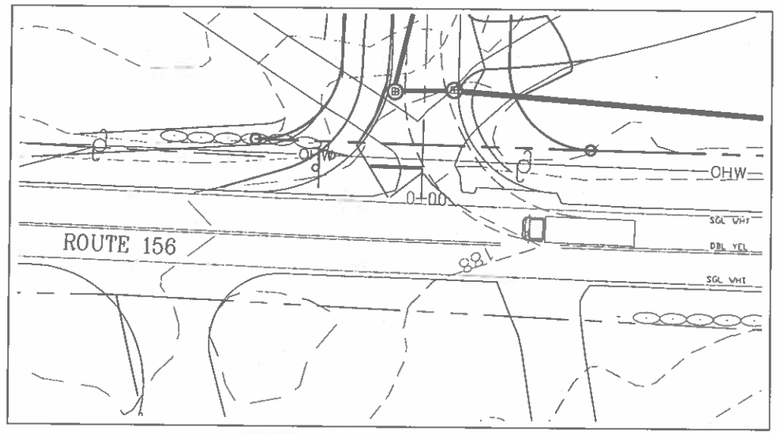
DATE:	DEC 2023	SCALE	1"=40'
PROJ. NO:	NH-1490	SHEET NO.	18

14/17

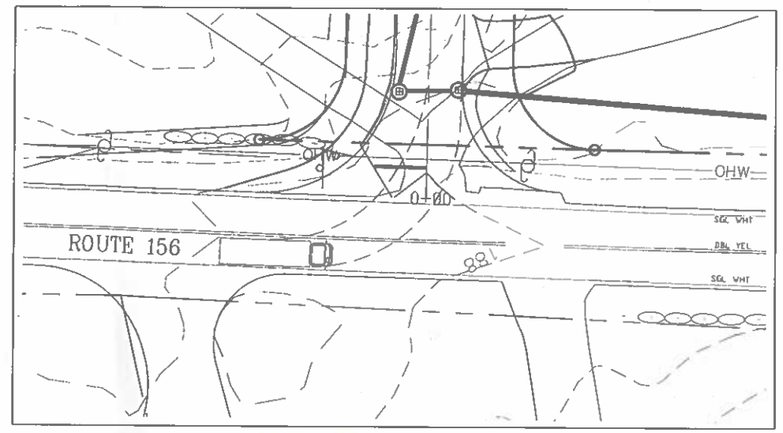
PREPARED FOR:

JOSEPH FALZONE
7B EMERY LANE
STRATHAM, N.H. 03885

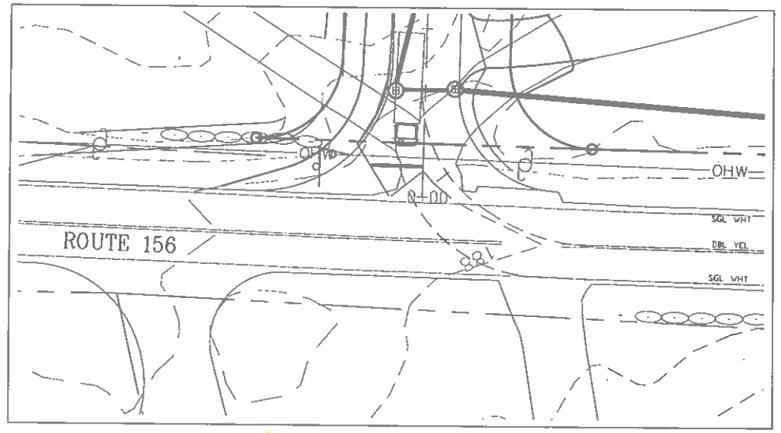
BA BEALS ASSOCIATES, PLLC
70 PORTSMOUTH AVE,
THIRD FLOOR, SUITE 2
STRATHAM, N.H. 03885
PHONE: 603-583-4860,
FAX. 603-583-4863



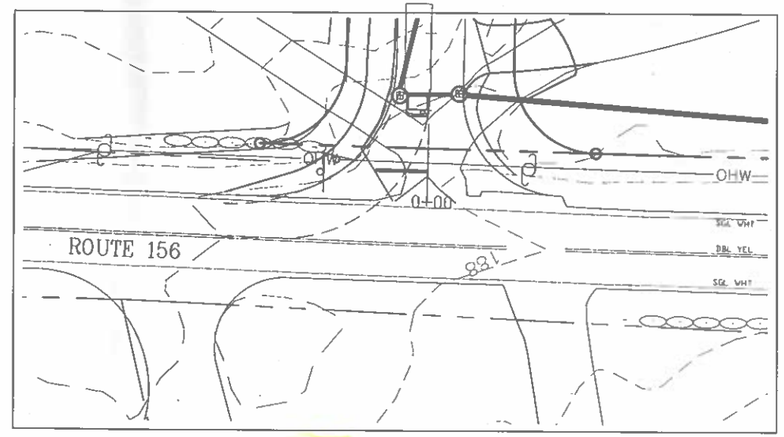
SU UTILITY TRUCK ENTERING SOUTHBOUND DETAIL
SCALE: 1"=20'



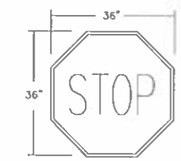
SU UTILITY TRUCK ENTERING NORTHBOUND DETAIL
SCALE: 1"=20'



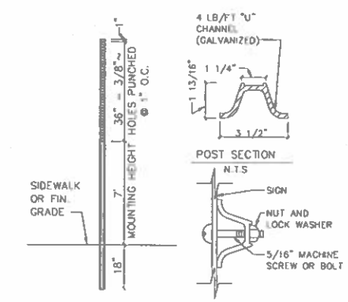
SU UTILITY TRUCK EXITING NORTHBOUND DETAIL
SCALE: 1"=20'



SU UTILITY TRUCK EXITING SOUTHBOUND DETAIL
SCALE: 1"=20'



R1-1
WHITE LETTERING ON RED



POST
N.T.S.

MOUNTING
N.T.S.

SIGN DETAIL

RECEIVED
DEC 18 2023
NHDOT DISTRICT 6

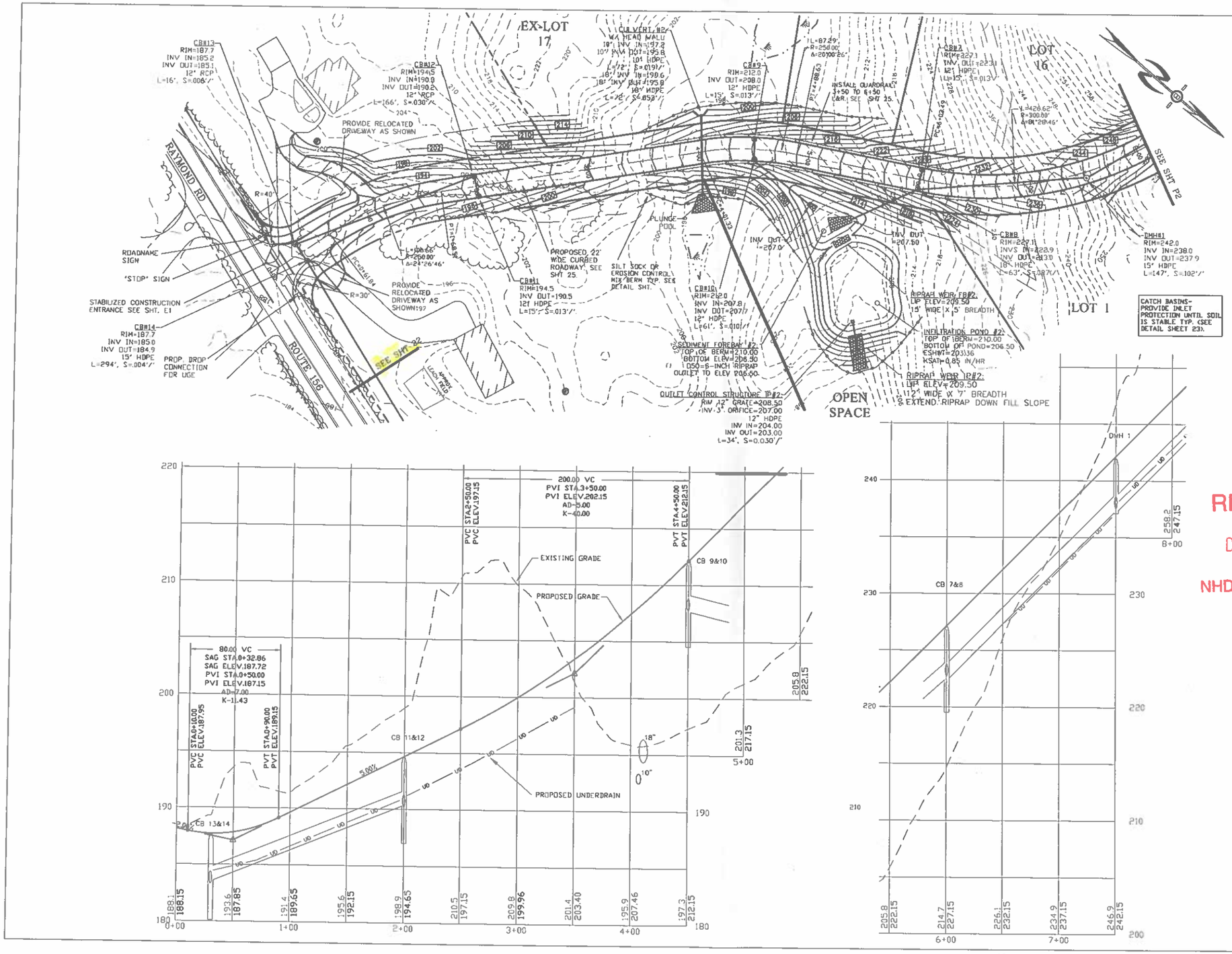
REVISIONS:	DATE:

HIGHWAY ACCESS PLAN-H2

FOR:
RESIDENTIAL DEVELOPMENT
RAYMOND RD - ROUTE 156
NOTTINGHAM, NH

DATE:	DEC 2023	SCALE:	1"=20'
PROJ. NO:	NH-1490	SHEET NO.	18A

15/17



PREPARED FOR:

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BA BEALS ASSOCIATES, PLLC
70 PORTSMOUTH AVE, THIRD FLOOR, SUITE 2
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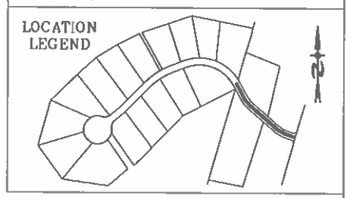
FAX: 603-583-4863

LOCATION LEGEND



NOTES

1. ALL ELECTRICAL, TELEPHONE, CABLE TELEVISION AND ALARM LINES TO BE UNDERGROUND. THE SIZE AND LOCATION IS TO BE DETERMINED BY APPROPRIATE UTILITY COMPANY.
2. ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR, ENGINEER TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY.
3. ALL CONSTRUCTION METHODS AND MATERIALS WILL CONFORM TO THE TOWN STANDARD SPECIFICATIONS AND TO N.H.D.O.T. STANDARDS AND REGULATIONS.
4. ALL DRAINAGE STRUCTURE AND SWALES WILL BE BUILT AND STABILIZED PRIOR TO HAVING RUN-OFF DIRECTED TO THEM.
5. SEE DETAIL SHEETS FOR STANDARD CONSTRUCTION NOTES AND DETAILS.
6. PROPOSED UNDER DRAINS TO BE INSTALLED AS SHOWN ON THE TYPICAL ROAD CROSS SECTION DETAIL AND TIE INTO DRAINAGE STRUCTURES.

PROFILE SCALES:
HORIZONTAL: 1"=40' VERTICAL: 1"=4'

0 40 80 120
SCALE: 1"=40'

PLAN & PROFILE - P1

FOR:
RESIDENTIAL DEVELOPMENT
RAYMOND RD - ROUTE 156
NOTTINGHAM, NH

DATE:	DEC 2023	SCALE	1" = 40'
PROJ. NO:	NH-1490	SHEET NO.	19

16/17

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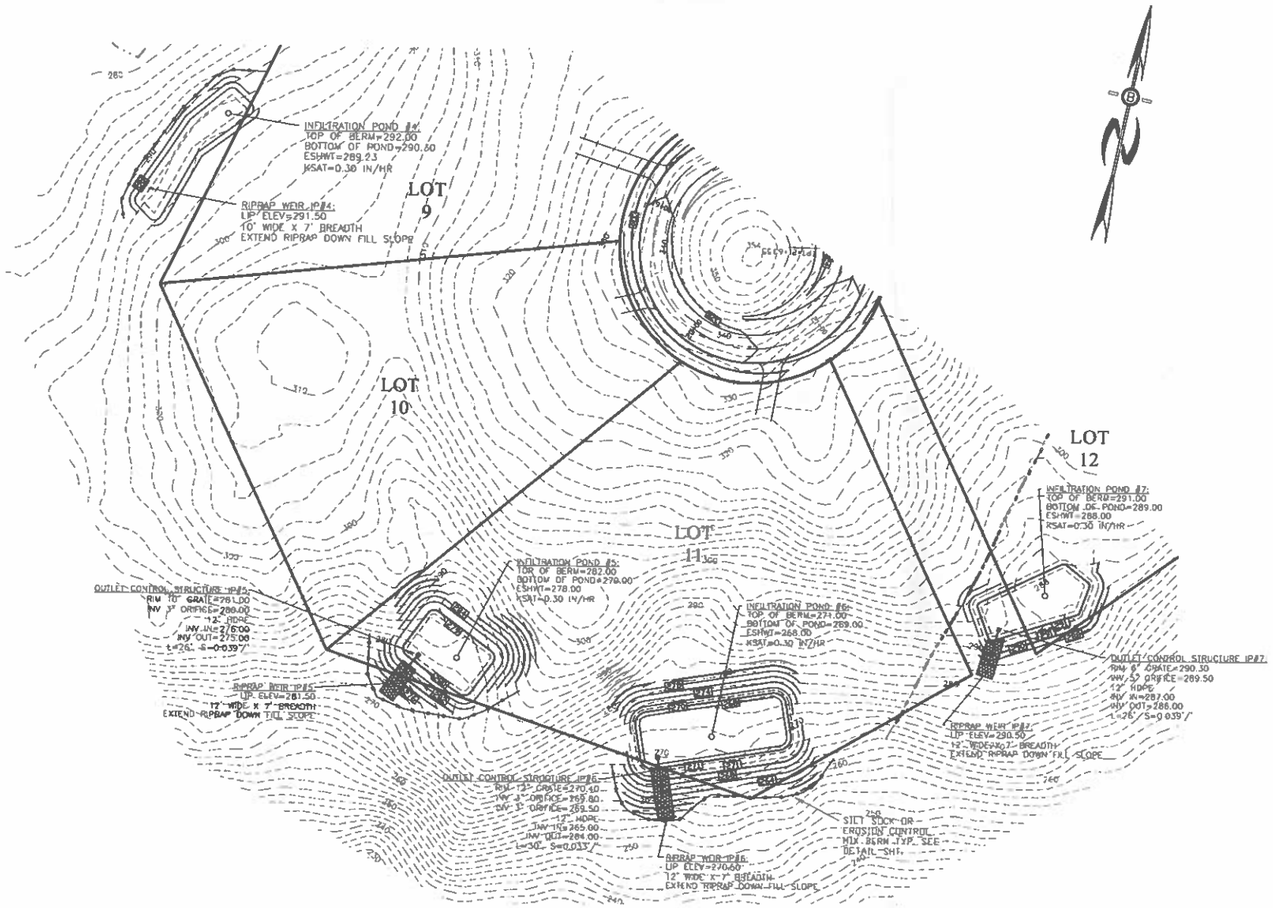

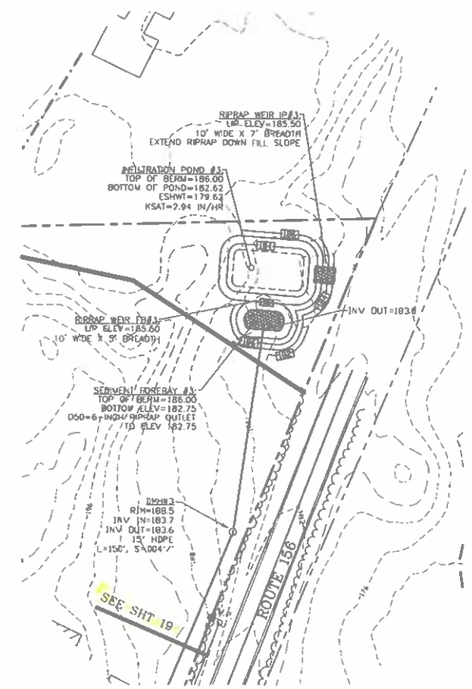

RECEIVED
DEC 18 2023
NHDOT DISTRICT 6

0 40 80 120
SCALE: 1"=40'

POND PLAN

FOR:
RESIDENTIAL DEVELOPMENT
RAYMOND RD – ROUTE 156
NOTTINGHAM, NH

DATE:	DEC 2023	SCALE	1" = 40'
PROJ. NO:	NH-1490	SHEET NO.	22

17/17